

# CITY OF ATWATER COMMUNITY DEVELOPMENT AND RESOURCES COMMISSION AGENDA

Council Chambers  
750 Bellevue Road  
Atwater, California

**August 17, 2016**

**6:00 PM**

CALL TO ORDER:



PLEDGE OF ALLEGIANCE TO THE FLAG:

INVOCATION:

**Invocation by Police Chaplain**

ROLL CALL:

Brice\_\_\_\_, Dash\_\_\_\_, Daugherty\_\_\_\_, Hylar III\_\_\_\_, McWatters\_\_\_\_, Murphy III\_\_\_\_,  
Reed \_\_\_\_\_,

COMMENTS FROM THE PUBLIC:

## NOTICE TO THE PUBLIC

At this time any person may comment on any item which is not on the agenda that is within the jurisdiction of the Community Development and Resources Commission. Please state your name and address for the record. Action will not be taken on an item that is not on the agenda. If it requires action, it will be referred to staff and/or placed on a future agenda.

To comment on an item that is **on** the agenda, please wait until the item is read for consideration; please limit comments to a maximum of three (3) minutes.

**Civility is expected from members of the public during the meeting. For more efficient use of time, disruptive behavior will not be tolerated. While you may not agree with what an individual is saying, please treat everyone with courtesy and respect.**

APPROVAL OF MINUTES:

1. **None.**

PUBLIC HEARINGS

**2. Conditional Use Permit No. 545-16:**

Staff has received a CUP application requesting approval from the Community Development and Resources Commission to submit to the Department of Alcoholic Beverage Control for a Type 47 license. License would be for a new business, JAMS@209 Sports Bar & Grill to be located at 591 Bellevue Road.

Applicant: David Sousa

**Staff's Recommendation:** Motion to adopt Resolution No. 020-16 approving Conditional Use Permit No. 545-16.

**3. Site Plan No. 705-15 & Conditional Use Permit No. 546-16:**

Staff has received a Site Plan application requesting approval to convert the old auto repair and gas station facility located at 1401 Atwater Boulevard into a convenience store and gas station facility.

The CUP application is requesting approval from the Community Development and Resources Commission to submit to the Department of Alcoholic Beverage Control for a Type 21 license for use at 1401 Atwater Boulevard.

Applicant: Balbir Singh

**Staff's Recommendation:** Motion to adopt Resolution No. 021-16 approving Site Plan No. 705-16. Motion to adopt Resolution No. 022-16 approving Conditional Use Permit No. 546-16.

REPORTS AND PRESENTATIONS FROM STAFF

4. **None.**

COMMISSIONER MATTERS:

**Comments from Community Development and Resources Commissioners.**

ADJOURNMENT:

CERTIFICATION

I, Patricia Mead, Community Development and Resources Recording Secretary, do hereby certify that a copy of the foregoing Agenda was posted at City Hall a minimum of 72 hours prior to the meeting.

/s/ *Patricia Mead*

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PATRICIA MEAD  
RECORDING SECRETARY

SB 343 NOTICE

In accordance with California Government Code Section 54957.5, any writing or document that is a public record, relates to an open session agenda item and is distributed less than 72 hours prior to a regular meeting will be made available for public inspection in the Police Department, by the Community Development and Resources Commission Recording Secretary at City Hall during normal business hours at 750 Bellevue Road.

If, however, the document or writing is not distributed until the regular meeting to which it relates, then the document or writing will be made available to the public at the location of the meeting, as listed on this agenda at 750 Bellevue Road.



In compliance with the Federal Americans with Disabilities Act of 1990, upon request, the agenda can be provided in an alternative format to accommodate special needs. If you require special accommodations to participate in a City Council, Commission, or Committee meeting due to a disability, please contact the City Clerk's Office a minimum of three (3) business days in advance of the meeting at (209) 357-6205. You may also send the request by email to [jdelreal@atwater.org](mailto:jdelreal@atwater.org)

**RECOMMENDATION TO OPEN THE HEARING, OBTAIN  
TESTIMONY FROM THE PUBLIC, AND ADOPT COMMUNITY  
DEVELOPMENT RESOURCES COMMISSION RESOLUTION NO.  
020-16 APPROVING CONDITIONAL USE PERMIT NO. 545-16  
(TYPE 47 ALCOHOL LICENSE @ 591 BELLEVUE ROAD)**

**RECOMMENDATION:**

It is recommended that the Community Development and Resources Commission take the following actions:

1. Open the Hearing to obtain testimony from the public; and,
2. Adopt Resolution No. 002-16 approving Conditional Use Permit No. 545-16.

**BACKGROUND:**

Staff has received a Conditional Use Permit application from David Sousa, on behalf of JAMS@209 Sports Bar and Grill, requesting approval to submit an application to The State of California Department of Alcoholic Beverage Control for a Type 47 license.

**ANALYSIS:**

The proposed location would be the old Rizzonelli's restaurant located within the Atwater Plaza Shopping Center. This building has now been vacant for a couple of years. The applicant is proposing to establish a Sports Bar & Grill at the location. The applicant is proposing to use the current concrete patio area in the front of the building for an outdoor dining area. The area is approximately 350 square feet in size, be able to fit six tables and would be fenced to separate the area from the rest of the restaurant site.

The site is located within a Planned Development (PD-4) Zone District and has a General Plan land use designation of Commercial. City ordinance requires that the applicant obtain a Conditional Use Permit for the sale alcoholic beverages. The applicant is requesting approval to submit an application to The State of California Department of Alcoholic Beverage Control (ABC) for a Type 47 (On Sale General- Eating Place) license. A Type 47 alcohol license is described as follows:

*Type 47- On Sale General- Eating Place (Restaurant)- Authorizes the of beer, wine and distilled spirits for consumption on the licenses premises. Must operate and maintain the licensed premises as a bona fine eating place. Must maintain suitable kitchen facilities, and must make actual and substantial sales of meals for consumption on the premises. Minors are allowed on the premises.*

The applicant is also requesting that the Community Development and Resources Commission make the determination that the Public Convenience or Necessity (PCorN) would be met by issuance of this license. A PCorN is required for liquor license applicants that may be denied by ABC pursuant to section 23958 of the Business and Professions Code. Section 23958 requires ABC to deny an application for a liquor license if “issuance of that license would tend to create a law enforcement problem or if the issuance would result in or add to an undue concentration of liquor licenses”. Undue concentration is denied as follows:

*The premises of the proposed license is located in a census tract where the ratio of existing retail on-sale/off-sale licenses to population in the census tract exceeds the ratio of retail on-sale/off-sale licenses to the population in the County of the proposed premise.*

The proposed site is located within Census Tract No. 6.03. Census Tract 6.03 is bounded by Bellevue Road to the south, Winton Way to the west, Gertrude Avenue to the north and Santa Fe Drive to the east. The current population for Census Tract 6.03 is 6,143.

Currently ABC allows 1,267 On Sale licenses and 1,114 Off Sale licenses for the entire County. When calculated the following number of On Sale and Off Sale licenses are allowed within Censes Tract 6.03.

6,143/1,267= 4.8 (4 On Sale allowed by the State) (8 current On Sale approved)  
6,143/1,114= 5.5 (5 Off Sale allowed by the State) (6 current Off Sale approved)

Currently the State allows a total of 9 On Sale and Off Sale licenses within Census Tract 6.03. Currently the State has issued 14 On Sale and Off Sale licenses within Census Tract 6.03 which is an undue concentration. This is why Staff is requesting that the Commission also find that the Public Convenience or Necessity would be met by approval and issuance of this license.

**ENVIRONMENTAL:**

The Site Plan for this project has been found to be exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15031(b)(3).

**CONCLUSION:**

This report is submitted for Community Development and Resources Commission review and possible action.

Respectfully submitted,

*Justin D. Hendrix*

Justin D. Hendrix  
Senior Planner  
City of Atwater



**COMMUNITY DEVELOPMENT  
AND RESOURCES COMMISSION  
OF THE CITY OF ATWATER**

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**RESOLUTION NO. CDRC 020-16**

**A RESOLUTION OF THE COMMUNITY DEVELOPMENT AND RESOURCES COMMISSION OF THE CITY OF ATWATER APPROVING CONDITIONAL USE PERMIT NO. 545-16 ALLOWING FOR A TYPE 47 ALCOHOL LICENSE AND FINDING THAT THE PUBLIC CONVENIENCE OR NECESSITY WOULD BE SERVED BY ISSUANCE OF SAID LICENSE (591 BELLEVUE ROAD- JAMS@209 SPORTS BAR & GRILL)**

**WHEREAS**, the Community Development and Resources Commission of the City of Atwater reviewed Conditional Use Permit No. 545-16, as submitted by David Sousa on behalf of JAMS@209 Sports Bar & Grill, requesting approval to submit to The Department of Alcoholic Beverage Control for a Type 47 alcohol license and finding that the Public Convenience and Necessity would be served by the issuance of the Type 47 license; and,

**WHEREAS**, said application was reviewed by the Community Development and Resources Commission of the City of Atwater on Wednesday, August 17, 2016; and,

**WHEREAS** the Community Development and Resources Commission held a duly noticed public hearing as required by laws to consider all of the information presented by staff, information from the project proponent, and public testimony presented in writing and at the meeting; and,

**WHEREAS**, \_\_\_ person(s) spoke in favor of the project, \_\_\_ person(s) spoke in opposition of the project and \_\_\_ written comment(s) have been submitted either in opposition or in favor of the project; and,

**WHEREAS**, the site can accommodate the aforesaid use and proposed structure and not have a detrimental effect on the health, safety, and welfare of the neighborhood nor have an adverse effect on the community; and,

**WHEREAS** this project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15061(b)(3); and,

**WHEREAS**, the Community Development and Resources Commission finds that the following findings can be made for this Conditional Use Permit Amendment:

1. That the site is located within a Planned Development (PD-4) Zone District.
2. That the site is designated as Commercial by the Atwater General Plan.
3. That this use is considered a Conditional Use and with the conditions set forth by this resolution will meet the intent of the Planned Development Zone District.
4. That this project is consistent with all elements of the Atwater General Plan.
5. That all the mandatory findings set forth in Section 17.71.010 of the Atwater Zoning Ordinance can be made.
6. That this project qualifies for a categorical exemption from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15061(b)(3).

**WHEREAS**, subject to the conditions identified below, the use is in conformance with the codes and standards of the City of Atwater; and,

**NOW, THEREFORE, BE IT RESOLVED**, that the Community Development and Resources Commission of the City of Atwater does hereby approve Conditional Use Permit No. 545-16 subject to the following conditions:

1. That the applicant is approved to submit to The Department of Alcoholic Beverage Control (ABC) for a Type 47 alcohol license.
2. That the Community Development and Resources Commission of the City of Atwater made the finding that the Public Convenience or Necessity would be served by the issuance of a Type 47 alcohol license at said location.
3. That the applicant shall comply with all requirements of The Department of Alcoholic Beverage Control.
4. That the applicant has approval to use the approximately 350 square foot concrete area directly in front of the building for an outdoor dining area. The area shall be fenced in accordance with current Building Code and ABC regulations.
5. Any outdoor lighting in the fenced in area shall be pointed downward and away from neighboring properties and public right-of-ways.
6. The current vacant area in front of the proposed fenced in area shall not be used for dining or for the consumption of alcoholic beverages.
7. That the Community Development and Resources Commission shall retain the right to reconsider Conditional Use Permit No. 545-16 at anytime.
8. That this CUP shall expire in six (6) months from the day of approval if the business has not started. A six month extension may be granted by the Community Development and Resources Commission.
9. The applicant or applicant's successor in interest shall indemnify and defend and hold harmless the City of Atwater, its agents, officers and employees from any and all claims, actions or proceedings against the City of Atwater, its agents, officers and employees to attack, set aside, void or annul any approval by the

City of Atwater and its advisory agency appeal board or legislative body concerning this advisory agency appeal board or legislative body concerning this application, which action is brought within applicable statutes of limitation. The City of Atwater shall promptly notify the applicant or applicant's successor in interest of any claim or proceedings and shall cooperate fully in the defense. If the City fails to do so, the applicant or applicant's successor in interest shall not thereafter be responsible to defend, indemnify or hold the City harmless. This condition may be placed on any plans or other documents pertaining to this application.

The foregoing resolution is hereby adopted this 17th day of August, 2016.

**AYES:  
NOES:  
ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**GARY BRICE, CHAIRMAN**

**ATTEST:**

\_\_\_\_\_  
**JUSTIN D. HENDRIX, SECRETARY**



**LOCATION: 591 Bellevue Suite 13, Atwater, CA 95301**

JAMS@209 Sports Bar & Grill is a full service restaurant and bar. Our goal is to bring families, friends, food, and fun together in a sporting environment.

We currently have one location in Turlock that has been in successful operation for one year. Policies and procedures have been implemented and enforced and the Atwater location will emulate Turlock. (Photos attached).

Menu: American cuisine (menu attached).

Kitchen: Full capability with 100% Merced County Environmental Health Compliant.

Dining: Full service seating and dining with multiple televisions surrounding and various sporting events broadcasted. Music videos and background music playing.

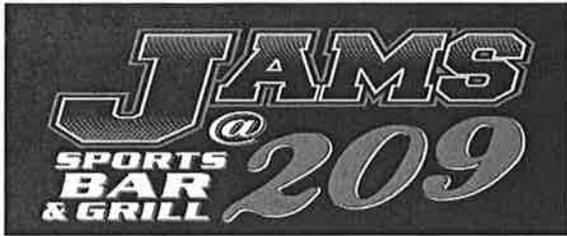
Outdoor Patio: Full service dining on the outdoor patio

Our hours of operation are: Wednesday through Monday 11:00 am until 10:00 pm. Closed on Tuesdays. There will be an average of four employees working per shift (lunch shift and dinner shift).

We sincerely thank you for your time and consideration.

JAMS@209 Sports Bar & Grill  
David Sousa, Member  
Mukhtiar Sahota, Member

[www.jamsportsbar.com](http://www.jamsportsbar.com)

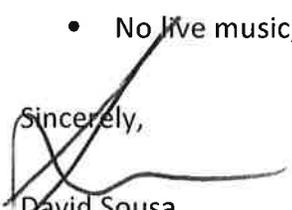


JAMS@209 Sports Bar & Grill  
571 Bellevue #13  
Atwater, CA 95301

Outdoor Patio Detail:

- Outdoor patio will consist of 350 square feet on existing concrete
- Three tables (six person tables)
- Iron Fencing surrounding outdoor patio with exit gate
- Two outdoor speakers connected to indoor music speakers
- No outdoor televisions
- No live music, bands, or performances

Sincerely,



David Sousa

Member

JAMS@209 Sports Bar & Grill

Cell (209) 678-2646

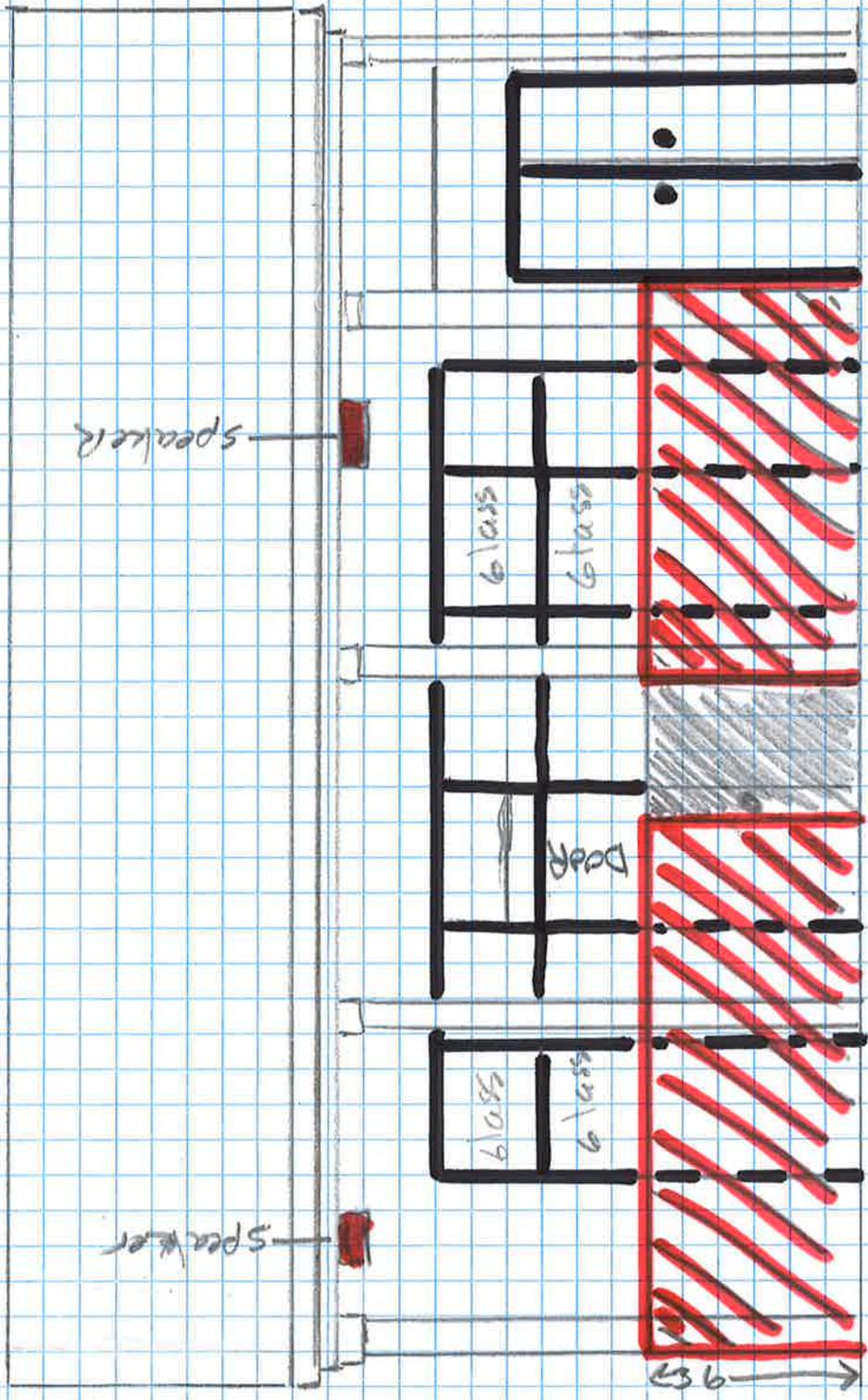


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New Glass —  
windows

New Iron —  
Fence

gate →

← 36 →

existing concrete

existing concrete

New Double Doors

Speaker

New Door 36"

Gate

35'

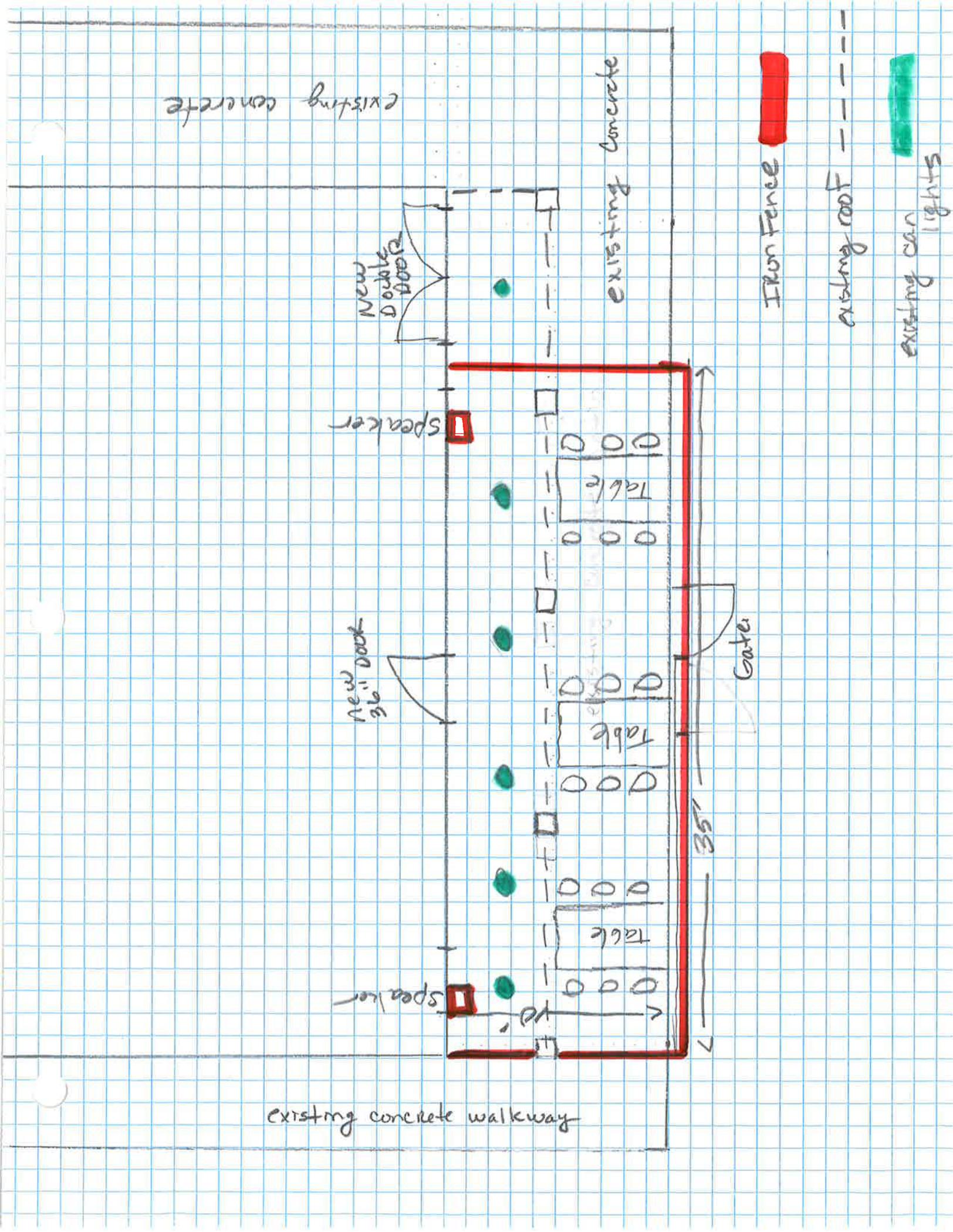
Speaker

existing concrete walkway

Iron Fence

existing roof

existing car lights



# JAMS @ 209

SPORTS  
BAR  
& GRILL



2317 OPEN

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FRIENDS

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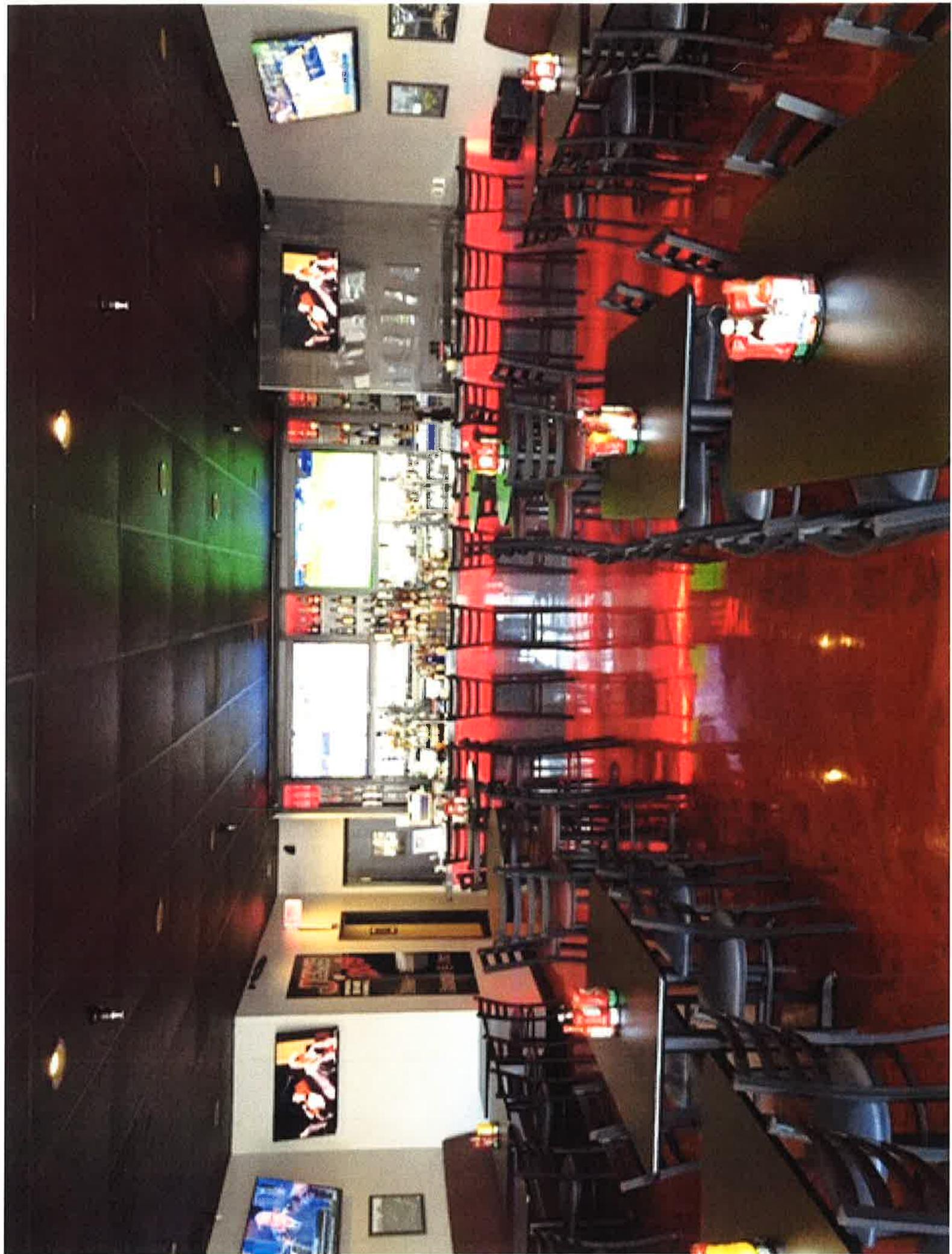
**JAMS**  
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**SPORTS BAR & GRILL**  
**209**

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209 - 634 - JAMS (5267)  
[jamsportsbar.com](http://jamsportsbar.com)

Mon 11am to 10pm  
 Tue Closed  
 Wed 11am to 10pm  
 Thru 11am to 10pm  
 Fri 11am to 10pm  
 Sat 11am to 10pm  
 Sun 11am to 10pm

  
 free WIFI



DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL  
NUMBER OF LICENSES AUTHORIZED  
BY CENSUS TRACT

County Name	County Population	County Ratio On Sale	County Ratio Off Sale	Census Tract #	Census Tract Population	On Sale	Off Sale
MARIN	258,972	470	1,126	1290.00	2,359	5	2
MARIN	258,972	470	1,126	1302.01	3,191	6	2
MARIN	258,972	470	1,126	1302.02	4,453	9	3
MARIN	258,972	470	1,126	1311.00	1,038	2	0
MARIN	258,972	470	1,126	1321.00	2,311	4	2
MARIN	258,972	470	1,126	1322.00	1,774	3	1
MARIN	258,972	470	1,126	1330.00	3,226	6	2
MARIN	258,972	470	1,126	9901.00	0	0	0
MARIPOSA	17,791	481	659	1.01	3,929	8	5
MARIPOSA	17,791	481	659	1.02	2,719	5	4
MARIPOSA	17,791	481	659	2.00	3,352	6	5
MARIPOSA	17,791	481	659	3.01	3,743	7	5
MARIPOSA	17,791	481	659	3.02	2,706	5	4
MARIPOSA	17,791	481	659	4.00	1,802	3	2
MENDOCINO	88,863	357	539	101.00	2,587	7	4
MENDOCINO	88,863	357	539	102.00	4,155	11	7
MENDOCINO	88,863	357	539	103.00	4,272	11	7
MENDOCINO	88,863	357	539	104.00	3,467	9	6
MENDOCINO	88,863	357	539	105.00	4,439	12	8
MENDOCINO	88,863	357	539	106.00	6,917	19	12
MENDOCINO	88,863	357	539	107.00	6,203	17	11
MENDOCINO	88,863	357	539	108.01	5,915	16	10
MENDOCINO	88,863	357	539	108.02	1,785	5	3
MENDOCINO	88,863	357	539	109.00	4,332	12	8
MENDOCINO	88,863	357	539	110.01	1,952	5	3
MENDOCINO	88,863	357	539	110.02	5,364	15	9
MENDOCINO	88,863	357	539	111.02	3,915	10	7
MENDOCINO	88,863	357	539	112.00	3,293	9	6
MENDOCINO	88,863	357	539	113.00	5,972	16	11
MENDOCINO	88,863	357	539	114.00	4,469	12	8
MENDOCINO	88,863	357	539	115.00	6,739	18	12
MENDOCINO	88,863	357	539	116.00	5,802	16	10
MENDOCINO	88,863	357	539	117.00	4,181	11	7
MENDOCINO	88,863	357	539	118.00	2,082	5	3
MENDOCINO	88,863	357	539	9901.00	0	0	0
MERCED	266,134	1267	1,114	2.01	3,626	2	3
MERCED	266,134	1267	1,114	2.02	1,841	1	1
MERCED	266,134	1267	1,114	2.03	9,272	7	8
MERCED	266,134	1267	1,114	3.01	4,790	3	4
MERCED	266,134	1267	1,114	3.03	2,158	1	1
MERCED	266,134	1267	1,114	3.04	9,116	7	8
MERCED	266,134	1267	1,114	4.01	1,834	1	1
MERCED	266,134	1267	1,114	4.02	8,071	6	7
MERCED	266,134	1267	1,114	5.03	3,292	2	2
MERCED	266,134	1267	1,114	5.04	6,129	4	5
MERCED	266,134	1267	1,114	5.05	6,156	4	5
MERCED	266,134	1267	1,114	6.01	5,438	4	4
MERCED	266,134	1267	1,114	6.02	3,550	2	3
MERCED	266,134	1267	1,114	6.03	6,143	4	5
MERCED	266,134	1267	1,114	7.01	3,191	2	2
MERCED	266,134	1267	1,114	7.02	4,903	3	4
MERCED	266,134	1267	1,114	8.01	4,444	3	3



**California Department of Alcoholic Beverage  
Control  
For the County of MERCED - (Retail Licenses)  
and Census Tract = 6.03**

Report as of 8/8/2016

License Number	Status	License Type	Orig. Iss. Date	Expir Date	Primary Owner and Premises Addr.	Business Name	Mailing Address	Geo Code
1) <a href="#">182046</a>	ACTIVE	41	1/23/1986	6/30/2017	JERKOVIC, MATTHEW 975 BELLEVUE RD ATWATER, CA 95301  Census Tract: 0006.03	BROOKS RANCH FAMILY DINING		2401
2) <a href="#">381042</a>	ACTIVE	21	1/7/2003	12/31/2016	SINGH, BALBIR 1595 E BELLEVUE RD ATWATER, CA 95301  Census Tract: 0006.03	BOBBIS BEST BUY	2699 1ST ST ATWATER, CA 95301	2401
3) <a href="#">383029</a>	ACTIVE	20	5/31/2002	4/30/2017	GONGCO FOODS 2840 SHAFFER RD ATWATER, CA 95301  Census Tract: 0006.03	FOOD 4 LESS	2121 N DINUBA BLVD, STE J VISALIA, CA 93291	2401
4) <a href="#">405994</a>	ACTIVE	48	1/29/2004	12/31/2016	DURANVAZQUEZ, MIGUEL ANTONIO 575 E BELLEVUE RD ATWATER, CA 95301  Census Tract: 0006.03	OUT OF BOUNDS SPORTS BAR		2401
5) <a href="#">416053</a>	ACTIVE	41	10/15/2004	9/30/2016	ABEDI, RAJWANT 2751 SHAFFER RD, STE 17 ATWATER, CA 95301  Census Tract: 0006.03	MOUNTAIN MIKES PIZZA	1643 TULIP CT LOS BANOS, CA 93635	2401
6) <a href="#">434293</a>	ACTIVE	21	1/4/2006	1/31/2017	QUICK N SNAPPY INCORPORATED 1895 BELLEVUE RD ATWATER, CA 95301  Census Tract: 0006.03	QUICK N SNAPPY FOOD AND LIQUOR	3382 DEWAR LN TURLOCK, CA 95382	2401
7) <a href="#">4426</a>	ACTIVE	21	6/1/1977	6/30/2017	THRIFTY PAYLESS INC 571 BELLEVUE RD ATWATER, CA 95301  Census Tract: 0006.03	RITE AID STORE 6001	2600 CAPITOL AVE, STE 300 SACRAMENTO, CA 95816-5930	2401
8) <a href="#">451475</a>	ACTIVE	21	5/4/2007	7/31/2017	SAVE MART SUPERMARKETS 1701 BELLEVUE RD ATWATER, CA 95301- 2604  Census Tract: 0006.03	SAVE MART 102	PO BOX 4278, ATTN: NIKKI BORUP MODESTO, CA 95352- 4278	2401
9) <a href="#">479693</a>	ACTIVE	21	10/5/2009	9/30/2016	GARFIELD BEACH CVS LLC 1651 BELLEVUE RD ATWATER, CA 95301- 2608  Census Tract: 0006.03	CVS PHARMACY 3117	1 CVS DR, MAIL DROP 23062A WOONSOCKET, RI 02895-6146	2401
10) <a href="#">507816</a>	ACTIVE	41	3/16/2011 8:57:48 AM	2/28/2017	GELT HOLDINGS INC 855 BELLEVUE RD, # 105	PIZZA HUT	220 PORTER DR, STE 100 SAN RAMON, CA 94583-	2401

						ATWATER, CA 95301		9206	
						Census Tract: 0006.03			
11)	<a href="#">521253</a>	ACTIVE	41	6/5/2012 9:45:35 AM	5/31/2017	WONG, KWAN 1115 BELLEVUE RD ATWATER, CA 95301	HONG KONG CHINESE RESTAURANT		2401
						Census Tract: 0006.03			
12)	<a href="#">536979</a>	ACTIVE	47	7/3/2014 4:48:47 PM	6/30/2017	CORNEJO, RAFAEL MACIAS 2811 SHAFFER RD ATWATER, CA 95301	ISABELLAS CASA BLANCA BAR AND GRILL	PO BOX 421 ATWATER, CA 95301	2401
						Census Tract: 0006.03			
13)	<a href="#">545724</a>	ACTIVE	47	8/6/2014 7:36:48 AM	7/31/2017	CARDOZA, JAMES L 785 BELLEVUE RD ATWATER, CA 95301			2401
						Census Tract: 0006.03			
14)	<a href="#">566304</a>	ACTIVE	41	3/10/2016 1:05:49 PM	2/28/2017	INTHAVONG, AROUNY 1843 & 1847 BELLEVUE RD ATWATER, CA 95301- 2660	THAI NOODLE		2401
						Census Tract: 0006.03			

--- End of Report ---

For a definition of codes, view our [glossary](#).

**RECOMMENDATION TO OPEN THE HEARING, OBTAIN  
TESTIMONY FROM THE PUBLIC. ADOPT COMMUNITY  
DEVELOPMENT RESOURCES COMMISSION RESOLUTION NO.  
021-16 APPROVING SITE PLAN NO. 705-16. ADOPT  
COMMUNITY DEVELOPMENT RESOURCES COMMISSION  
RESOLUTION NO. 022-16 APPROVING CONDITIONAL USE  
PERMIT NO. 546-16 (1401 ATWATER BOULVEVARD)**

**RECOMMENDATION:**

It is recommended that the Community Development and Resources Commission take the following actions:

1. Open the Hearing to obtain testimony from the public; and,
2. Adopt Resolution No. 021-16 approving Site Plan No. 705-16; and,
3. Adopt Resolution No. 022-16 approving Conditional Use Permit No. 546-16.

**ANALYSIS:**

Staff has received a Site Plan application and a Conditional Use Permit application from Balbir Singh for the conversion and reuse of a site located at 1401 Atwater Boulevard. Currently this site is a closed gas station and related auto repair facility. The applicant is proposing to convert the existing auto repair facility into a convenience store and reopen the gas station. This site is located within a Central Commercial Zone District and has a General Plan land use designation of Downtown Residential Transition.

*Site Plan:*

The Site Plan proposes to convert the existing two bay auto repair facility and associated office into a convenience store. The existing building is 1,135 square feet with the applicant looking to add 210 square feet for a total of 1,345 square feet. The existing floor area would be used for the sales of convenience store related items, cashier location and a small storage area. The addition to the building would be for a self contained walk in cooler, handicap accessible restroom facility and a sink area.

The applicant will need to revise the proposed Site Plan before the Commission. Upon a site visit Staff realized that the proposed handicapped accessible parking stall is located on the underground gas tank storage access point. This area cannot be used as a parking area for handicapped accessibility due to the grade

and slope of the area. This parking space will need to be relocated to a different place in the rear of the building. Also the proposed Site Plan does not show a proposed trash enclosure location. The proposed location will also need to be identified. If the Commission is willing, these items can be reviewed and approved by Staff.

*Conditional Use Permit:*

The applicant is requesting approval to submit an application to The State of California Department of Alcoholic Beverage Control (ABC) for a Type 21 (Off Sale General)(Package Store) license. A Type 21 alcohol license is described as follows:

*Type 21- Off Sale General-(Package Store)- Authorizes the sale of beer, wine and distilled spirits for consumption off the premises where sold. Minors are allowed on the premises.*

The applicant is also requesting that the Community Development and Resources Commission make the determination that the Public Convenience or Necessity (PCorN) would be met by issuance of this license. A PCorN is required for liquor license applicants that may be denied by ABC pursuant to section 23958 of the Business and Professions Code. Section 23958 requires ABC to deny an application for a liquor license if “issuance of that license would tend to create a law enforcement problem or if the issuance would result in or add to an undue concentration of liquor licenses”. Undue concentration is denied as follows:

*The premises of the proposed license is located in a census tract where the ratio of existing retail on-sale/off-sale licenses to population in the census tract exceeds the ratio of retail on-sale/off-sale licenses to the population in the County of the proposed premise.*

The proposed site is located within Census Tract No. 7.01. Census Tract 7.01 is bounded by Atwater Boulevard to the south, Winton Way to the west, Juniper Avenue to the north and Shaffer Road to the east. The current population for Census Tract 7.01 is 3,191.

Currently ABC allows 1,267 On Sale licenses and 1,114 Off Sale licenses for the entire County. When calculated the following number of On Sale and Off Sale licenses are allowed within Censes Tract 7.01.

3,191/1,267= 2.5 (2 On Sale allowed by the State) (4 current On Sale approved)  
3,191/1,114= 2.8 (2 Off Sale allowed by the State) (6 current Off Sale approved)

Currently the State allows a total of 4 On Sale and Off Sale licenses within Census Tract 7.01. Currently the State has issued 10 On Sale and Off Sale licenses within Census Tract 7.01 which is an undue concentration. This is why

Staff is requesting that the Commission also find that the Public Convenience or Necessity would be met by approval and issuance of this license.

**ENVIRONMENTAL:**

The Site Plan and The Conditional Use Permit for this project has been found to be exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15031(b)(3).

**CONCLUSION:**

This report is submitted for Community Development and Resources Commission review and possible action.

Respectfully submitted,

*Justin D. Hendrix*

Justin D. Hendrix  
Senior Planner  
City of Atwater



**COMMUNITY DEVELOPMENT  
AND RESOURCES COMMISSION  
OF THE CITY OF ATWATER**

---

**RESOLUTION NO. CDRC 021-16**

**A RESOLUTION OF THE COMMUNITY DEVELOPMENT  
AND RESOURCES COMMISSION OF THE CITY OF  
ATWATER APPROVING SITE PLAN NO. 705-16 (1401  
ATWATER BOULEVARD)**

**WHEREAS**, the Community Development and Resources Commission of the City of Atwater has reviewed Site Plan No. SP 705-16 as submitted by Balbir Singh, requesting approval to convert an auto repair facility with related gas pumps into a convenience store with related gas pumps. The project site is 1401 Atwater Boulevard and is known as Merced County Assessor's Parcel Number APN 002-205-002; and,

**WHEREAS**, said application was reviewed by the Community Development and Resources Commission of the City of Atwater on Wednesday, August 17, 2016; and,

**WHEREAS** the Community Development and Resources Commission held a duly noticed public hearing on August 17, 2016 as required by law to consider all of the information presented by staff, information from the project proponent, and public testimony presented in writing and at the meeting; and,

**WHEREAS**, \_\_\_ person(s) spoke in favor of the project, \_\_\_ person(s) spoke in opposition of the project and \_\_\_ written comment(s) have been submitted either in opposition or in favor of the project; and,

**WHEREAS**, the site can accommodate the aforesaid use and proposed structure and not have a detrimental effect on the health, safety, and welfare of the neighborhood nor have an adverse effect on the community; and,

**WHEREAS**, this project has been found to be categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15332 (In-Fill Development); and,

**WHEREAS**, the Community Development and Resources Commission finds that the following findings can be made for this site and architectural plan:

1. This application proposes to convert an auto repair facility with related gas pumps into a convenience store with related gas pumps. The project site is 1401 Atwater Boulevard and is known as Merced County Assessor's Parcel Number APN 002-205-002.
2. That the site is located within a Central Commercial (C-C) Zone District and the proposed use is permitted within this zone district.
3. That the site is designated as Downtown Residential Transition by the Atwater General Plan.
4. That this use is consistent with the purpose and intent and all applicable development standards of the Central Commercial (C-C) Zone District.
5. That this project is consistent with all elements of the Atwater General Plan.
6. That all the mandatory findings set forth in Section 17.36.010 of the Atwater Zoning Ordinance can be made.
7. That this project qualifies for a categorical exemption from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15332 (In-Fill Development).

**WHEREAS**, subject to the conditions identified below, the use is in conformance with the codes and standards of the City of Atwater; and,

**NOW, THEREFORE, BE IT RESOLVED**, that the Community Development and Resources Commission of the City of Atwater does hereby approve Site Plan No. 705-16 subject to the following conditions:

1. That the project shall comply with the most current California Code of Regulations, Title 24, parts 1 through 6, 8 through 10 and 12, the most current Fire, Life and Safety Codes and Title 15 of the Atwater Municipal Code, including all amendments thereto.
2. That there shall be compliance with the most recent Americans With Disability Act (ADA) regulations.
3. That applicant/developer shall submit building plans and obtain all necessary permits prior to commencement of construction.
4. That the applicant shall pay all required fees prior to issuance of a Building Permit.
5. That the applicant shall submit plans to the Merced County Department of Environmental Health for review and approval prior to issuance of a building permit, if necessary.
6. Prior to final acceptance, the developer shall provide the City with copies of the "as built" improvements on 5 mil mylar and record the construction and infrastructure drawings in an AutoCAD compatible format. The mylar set shall include all construction changes.
7. For proposed improvements, the applicant shall cause a Site Improvement Plan to be prepared. The plan shall be prepared by a Licensed Civil Engineer or under his direction. The plan shall be prepared on 24" x 36" plan sheets and to a reasonable scale. This plan shall be in a format to be approved by the City Engineer and shall show all of the proposed grading and on-site and off-site

- improvements for the proposed development. The title of the plan shall be shown at the top of Sheet No. 1, being Site Improvement plan No. 704. The Site Improvement Plan number only (705) shall also be placed outside of the border of the plan at the lower right corner of all sheets. Sheets shall be numbered in consecutive order. An index showing the sheets contained within and as a part of the Site Improvement Plan shall be shown on Sheet 1.
8. The applicant shall cause to be submitted a Site Improvement Plan that shall show all items named in the conditions of approval and the proposed resolution of those requirements. The plan shall also include the applicable General Specifications and Construction Specifications of the City of Atwater, to be placed on Sheet 1. The Site Improvement plan shall contain a sheet (or sheets) containing all City Standards pertinent to the proposed construction together with specific details and notes for the proposed construction.
  9. That the applicant shall obtain an encroachment permit from the Engineering Department for any improvements done within the public right-of-way. The applicant shall pay all applicable charges prior to an encroachment permit being issued.
  10. That the applicant shall install a reduced pressure principal backflow device for potable water and an approved backflow device for irrigation water. Individual services are to be provided for potable water and landscaping purposes. The services shall be metered; a Sensus "Flex-Net" radio read meter shall be used. Each service shall include a backflow prevention device enclosure, mounted on a concrete pad. The RPP device shall include unions on both riser pipes for easier maintenance. RPP devices shall be shown on the Site Improvement plan including brand names and types.
  11. That all outdoor equipment such as transformers, refrigerator units and air conditioning units shall be screened from public view.
  12. That the applicant/developer shall provide onsite outdoor lighting. The lighting shall be shielded downward and away from public right of ways and adjacent properties.
  13. That the applicant shall comply with the requirements of the National Pollution Discharge Elimination System (NPDES).
  14. That all broken, cracked or otherwise damaged or missing public improvements, such as curb, gutter or sidewalk shall be sawcut, removed, replaced and installed in accordance with applicable City Standards.
  15. All water trenches or excavations shall be excavated, backfilled and compacted in accordance with applicable City Standards and the conditions for paving included within this resolution.
  16. The developer shall construct a refuse enclosure consistent with City Policies and the current contracted refuse service provider. The enclosure shall include a concrete slab at the entrance to the refuse container to be moved forward for pick up. The enclosure shall be constructed of concrete block and include a concrete foundation and bottom, including a bumper block to protect the block wall from damage by the refuse container. The enclosure shall have locking gates. The gates shall be constructed of chain link with slats or other approved solid materials. The enclosure shall be accessible to refuse trucks. Landscaping shall be provided that, when mature, limits the visibility of the refuse enclosure.

- This can be accomplished with vining plants or appropriate type of bushes. All refuse enclosures shall be designed with recycling container areas for compliance with CALGReen requirements. Final placement of the enclosures shall be reviewed and approved by the Community Development Department.
17. Any water wells found during construction shall be destroyed in accordance with approved City Standards and requirements.
  18. Any septic systems found during construction shall be destroyed in accordance with approved Merced County Environmental Health requirements.
  19. The applicant shall abandon and remove from the site any existing irrigation lines and other structures found. Lines shall be plugged at the property line with concrete.
  20. That the applicant shall properly abandon or relocate all utilities as necessary or required.
  21. That the applicant shall comply with all requirements of the San Joaquin Valley Air Pollution Control District (SJVAPCD). Applicant will need to submit for District Rule 9510- Indirect Source Review.
  22. That prior to installation, all proposed signs to be installed on buildings or onsite shall be reviewed and approved by the Community Development Department.
  23. That all onsite graffiti shall be the responsibility of the property owner. All graffiti shall be abated in accordance with City graffiti ordinances.
  24. That the applicant shall not be allowed to use the site until all required improvements are completed and accepted by the City.
  25. That the applicant shall pay the Regional Transportation Impact Fee (RTIF).
  26. That the applicant shall comply with the requirements of all public utility companies.
  27. The applicant or applicant's successor in interest shall indemnify and defend and hold harmless the City of Atwater, its agents, officers and employees from any and all claims, actions or proceedings against the City of Atwater, its agents, officers and employees to attack, set aside, void or annul any approval by the City of Atwater and its advisory agency appeal board or legislative body concerning this advisory agency appeal board or legislative body concerning this application, which action is brought within applicable statutes of limitation. The City of Atwater shall promptly notify the applicant or applicant's successor in interest of any claim or proceedings and shall cooperate fully in the defense. If the City fails to do so, the applicant or applicant's successor in interest shall not thereafter be responsible to defend, indemnify or hold the City harmless. This condition may be placed on any plans or other documents pertaining to this application.

The foregoing resolution is hereby adopted this 17th day of August, 2016.

**AYES:**  
**NOES:**  
**ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**GARY BRICE, CHAIRMAN**

**ATTEST:**

\_\_\_\_\_  
**JUSTIN D. HENDRIX, SECRETARY**



## COMMUNITY DEVELOPMENT AND RESOURCES COMMISSION OF THE CITY OF ATWATER

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### RESOLUTION NO. CDRC 022-16

**A RESOLUTION OF THE COMMUNITY DEVELOPMENT AND RESOURCES COMMISSION OF THE CITY OF ATWATER APPROVING CONDITIONAL USE PERMIT NO. 546-16 ALLOWING FOR A TYPE 21 ALCOHOL LICENSE AND FINDING THAT THE PUBLIC CONVENIENCE OR NECESSITY WOULD BE SERVED BY ISSUANCE OF SAID LICENSE (1401 ATWATER BOULEVARD)**

**WHEREAS**, the Community Development and Resources Commission of the City of Atwater reviewed Conditional Use Permit No. 546-16, as submitted by Balbir Singh, requesting approval to submit to The Department of Alcoholic Beverage Control for a Type 21 alcohol license and finding that the Public Convenience and Necessity would be served by the issuance of the Type 21 license; and,

**WHEREAS**, said application was reviewed by the Community Development and Resources Commission of the City of Atwater on Wednesday, August 17, 2016; and,

**WHEREAS** the Community Development and Resources Commission held a duly noticed public hearing as required by laws to consider all of the information presented by staff, information from the project proponent, and public testimony presented in writing and at the meeting; and,

**WHEREAS**, \_\_\_ person(s) spoke in favor of the project, \_\_\_ person(s) spoke in opposition of the project and \_\_\_ written comment(s) have been submitted either in opposition or in favor of the project; and,

**WHEREAS**, the site can accommodate the aforesaid use and proposed structure and not have a detrimental effect on the health, safety, and welfare of the neighborhood nor have an adverse effect on the community; and,

**WHEREAS** this project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15061(b)(3); and,

**WHEREAS**, the Community Development and Resources Commission finds that the following findings can be made for this Conditional Use Permit Amendment:

1. That the site is located within a Central Commercial (C-C) Zone District.
2. That the site is designated as Downtown Residential Transition by the Atwater General Plan.
3. That this use is considered a Conditional Use and with the conditions set forth by this resolution will meet the intent of the Central Commercial Zone District.
4. That this project is consistent with all elements of the Atwater General Plan.
5. That all the mandatory findings set forth in Section 17.71.010 of the Atwater Zoning Ordinance can be made.
6. That this project qualifies for a categorical exemption from the provisions of the California Environmental Quality Act (CEQA) under CEQA Guideline Section 15061(b)(3).

**WHEREAS**, subject to the conditions identified below, the use is in conformance with the codes and standards of the City of Atwater; and,

**NOW, THEREFORE, BE IT RESOLVED**, that the Community Development and Resources Commission of the City of Atwater does hereby approve Conditional Use Permit No. 545-16 subject to the following conditions:

1. That the applicant is approved to submit to The Department of Alcoholic Beverage Control (ABC) for a Type 21 alcohol license.
2. That the Community Development and Resources Commission of the City of Atwater made the finding that the Public Convenience or Necessity would be served by the issuance of a Type 21 alcohol license at said location.
3. That the applicant shall comply with all requirements of The Department of Alcoholic Beverage Control.
4. That the Community Development and Resources Commission shall retain the right to reconsider Conditional Use Permit No. 546-16 at anytime.
5. That this CUP shall expire in six (6) months from the day of approval if the business has not started. A six month extension may be granted by the Community Development and Resources Commission.
6. The applicant or applicant's successor in interest shall indemnify and defend and hold harmless the City of Atwater, its agents, officers and employees from any and all claims, actions or proceedings against the City of Atwater, its agents, officers and employees to attack, set aside, void or annul any approval by the City of Atwater and its advisory agency appeal board or legislative body concerning this advisory agency appeal board or legislative body concerning this application, which action is brought within applicable statutes of limitation. The City of Atwater shall promptly notify the applicant or applicant's successor in interest of any claim or proceedings and shall cooperate fully in the defense. If the City fails to do so, the applicant or applicant's successor in interest shall not thereafter be responsible to defend, indemnify or hold the City harmless. This condition may be placed on any plans or other documents pertaining to this application.

The foregoing resolution is hereby adopted this 17th day of August, 2016.

**AYES:  
NOES:  
ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**GARY BRICE, CHAIRMAN**

**ATTEST:**

\_\_\_\_\_  
**JUSTIN D. HENDRIX, SECRETARY**

# PROJECT SCOPE

1. TENANT IMPROVEMENT TO AN EXISTING 1,135 SF BUILDING
2. REMODEL RESTROOMS TO MAKE ADA COMPLIANT
3. INSTALL NEW ROOF MOUNT HVAC UNIT
4. INSTALL NEW SELF-CONTAINED COOLER

# VICINITY MAP



# PROJECT INFO

PROJECT LOCATION: 1401 ATWATER BLVD.  
ATWATER, CA 95301

A.P.N.#: 002-205-002

ORIGINAL BUILDING: 1,135 SF

NEW BUILDING: 1,345 SF

NET INCREASE IN SPACE: 210 SF

STORIES: 1

LOT SIZE: 1.1 ACRE

# APPLICABLE CODES

- 2013 CALIFORNIA BUILDING CODE (CBC)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC)
- 2013 CALIFORNIA MECHANICAL CODE (CMC)
- 2013 CALIFORNIA PLUMBING CODE (CPC)
- 2013 CALIFORNIA ENERGENCY CODE (CEC)
- 2013 CALIFORNIA FIRE CODE (CFC)
- 2013 CALIFORNIA GREEN CODE (CGC)

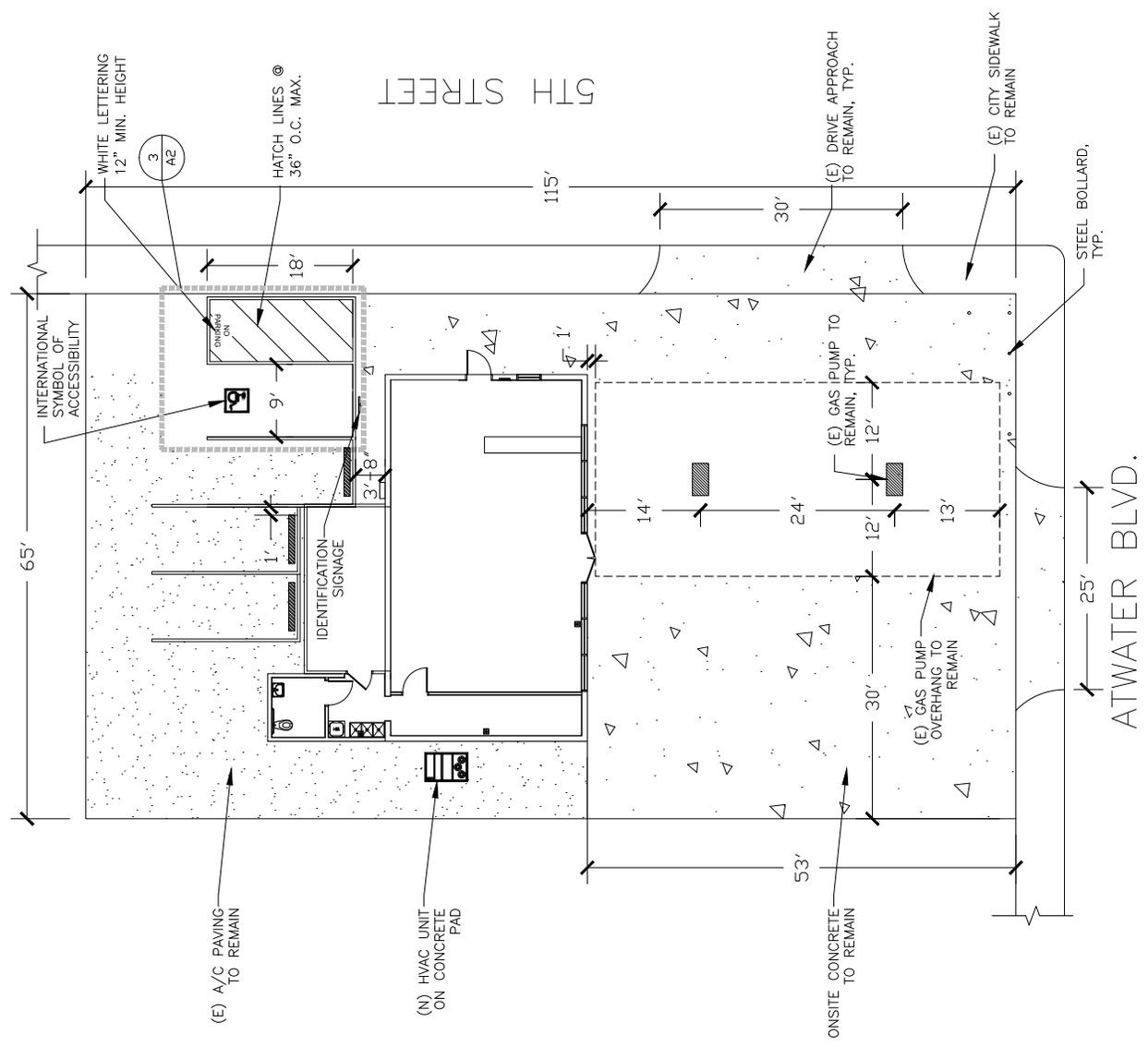
# SHEET INDEX

- T1 TITLE SHEET & PLOT PLAN
- A1 EXISTING FLOOR PLAN
- A2 NEW FLOOR PLAN
- A3 INTERIOR ELEVATIONS
- A4 REFLECTED CEILING PLAN
- A5 REFLECTED CEILING DETAILS
- A6 EXTERIOR ELEVATIONS
- A7 ROOF PLAN
- A8 ARCHITECTURAL DETAILS
- M1 MECHANICAL DETAILS

# DESIGN DATA

PROJECT TO COMPLY WITH THE FOLLOWING:

TYPE OF CONSTRUCTION	V-B
OCCUPANCY TYPE	B
WIND DESIGN SPEED	110 EXPOSURE C
TOPOGRAPHY EFFECTS	NONE
SEISMIC DESIGN CATEGORY	D
SOIL BEARING CAPACITY	1500 PSF
FLOOD HAZARD AREA	NO
CLIMATE ZONE	12



SITE PLAN

SCALE: 1" = 10'

1

SHEET INDEX

TITLE SHEET & PLOT PLAN

No.	Revision/Issue	Date
1	PLAN CHECK CORRECTIONS	5/10/16
2	PLAN CHECK CORRECTIONS	6/05/16
3	OWNER REVISIONS	7/04/16
4	OWNER REVISIONS	7/11/16

Client Name and Address  
BOYKIN & BOYKIN  
CONSTRUCTION  
6635 EDEN AVE.  
WINTON, CA 95388  
(209) 947-1287

Project Name and Address  
BOBBI'S BEACON  
1401 ATWATER BLVD.  
ATWATER, CA 95301

Sheet	T1
Client	BOBBI'S BEACON
Date	03/26/2016
Scale	PER PLAN

SHEET INDEX

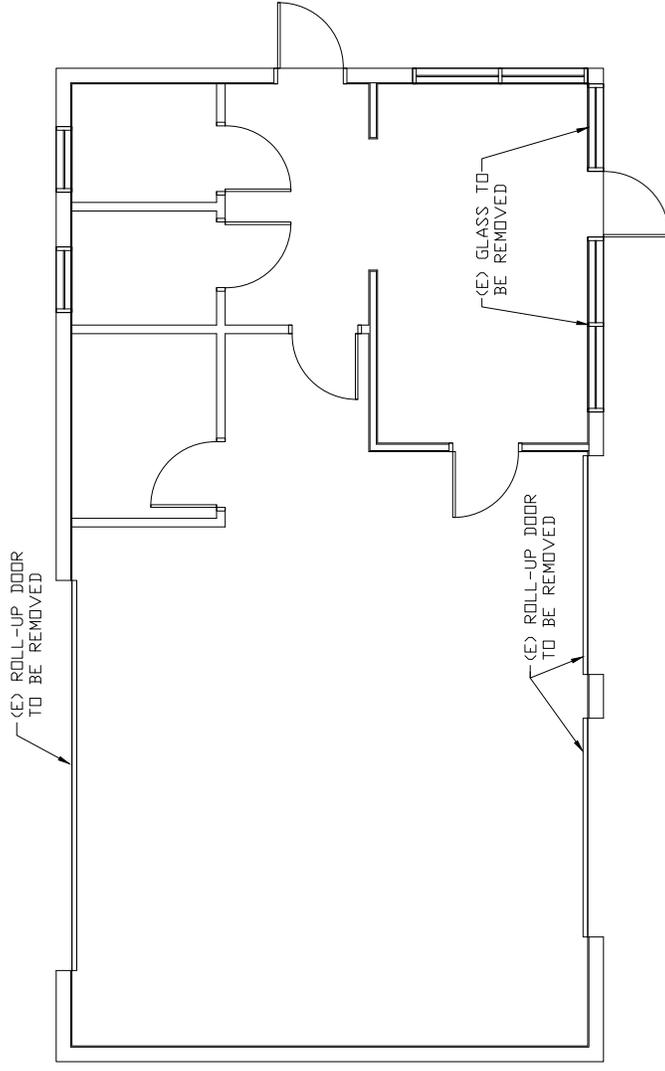
# EXISTING FLOOR PLAN

No.	Revision/Issue	Date
1	PLAN CHECK CORRECTIONS	05/10/16

**Firm Name and Address**  
BOYKIN & BOYKIN  
CONSTRUCTION  
6635 EDEN AVE.  
WINTON, CA 95388  
(209) 947-1287

**Project Name and Address**  
BOBBI'S BEACON  
1401 ATWATER BLVD.  
ATWATER, CA 95301

Project	Sheet
BOBBI'S BEACON	A1
Date	03/24/2016
Scale	PER PLAN



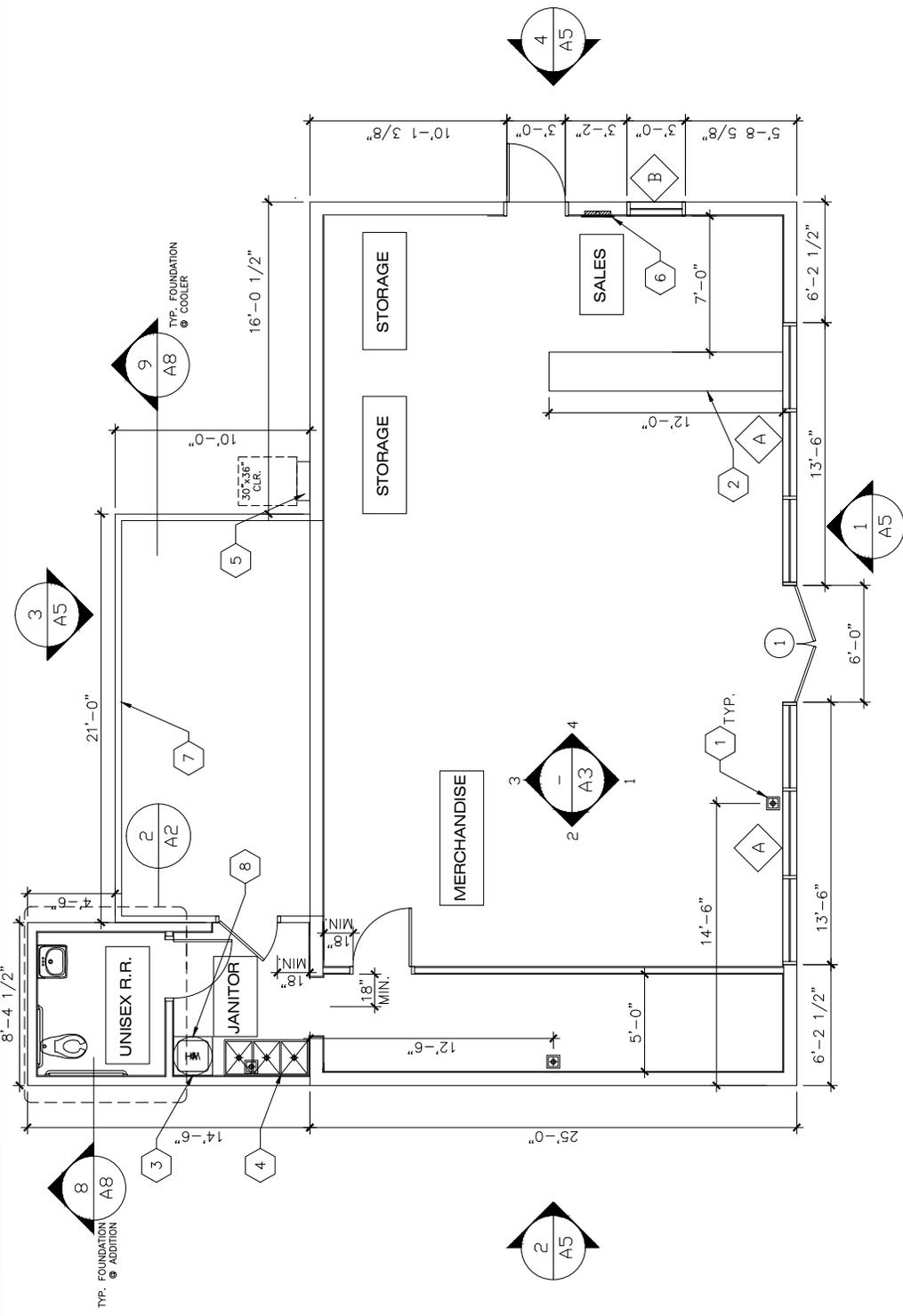
# NEW FLOOR PLAN

No.	Revision/Issue	Date
1	PLAN CHECK CORRECTIONS	6/10/16
2	PLAN CHECK CORRECTIONS	6/25/16
3	OWNER REVISIONS	7/04/16
4	OWNER REVISIONS	7/11/16

**Boykin & Boykin Construction**  
 6635 EDEN AVE.  
 WINTON, CA 95368  
 (209) 947-1287

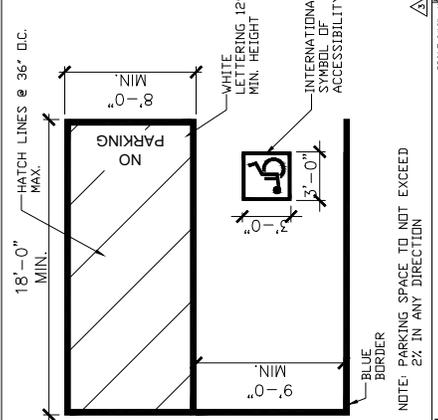
**Project Name and Address**  
 BOBBI'S BEACON  
 1401 ATWATER BLVD.  
 ATWATER, CA 95301

**Project:** BOBBI'S BEACON  
**Date:** 02/26/2016  
**Scale:** PER PLAN  
**Sheet:** A2

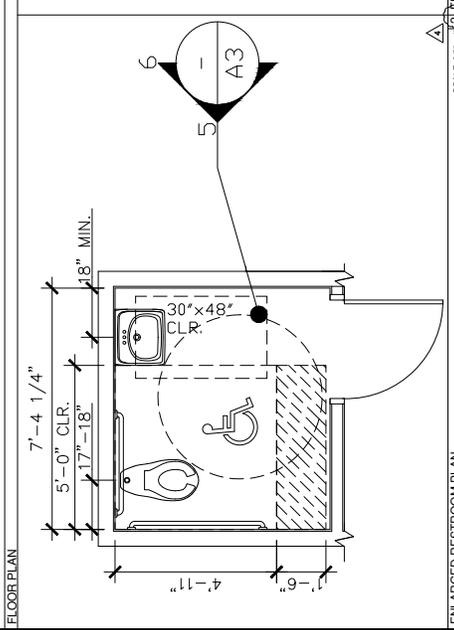


SCALE: 1/8" = 1'-0"

- 1 RECESSED FLOOR SINK
- 2 NEW CASEWORK
- 3 JANITOR SINK
- 4 3-COMPARTMENT SINK
- 5 NEW 400-AMP ELECTRICAL MAIN SERVICE PANEL
- 6 NEW 200-AMP ELECTRICAL SUB-PANEL
- 7 NEW SELF CONTAINED WALK-IN COOLER
- 8 NEW WATER HEATER ON SHELF



SCALE: 1/8" = 1'-0"



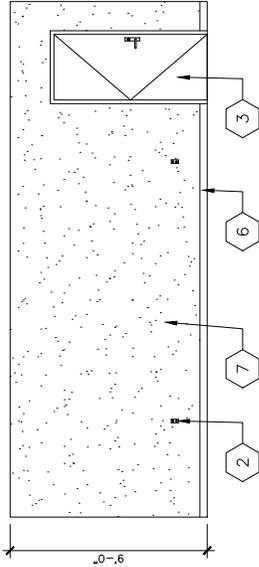
# INTERIOR ELEVATIONS

No.	Revisory/Issue	Date
△	PLAN CHECK CORRECTIONS	5/10/16
△	PLAN CHECK CORRECTIONS	6/05/16
△	OWNER REVISIONS	7/02/16
△	OWNER REVISIONS	7/11/16

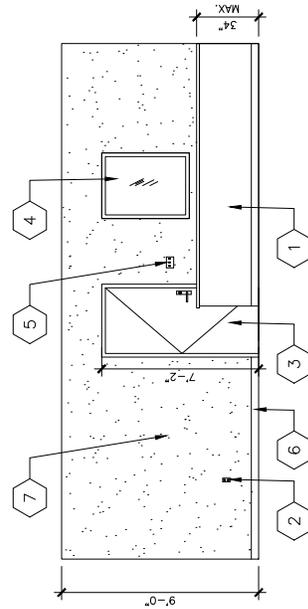
Firm Name and Address  
**BOYKIN & BOYKIN CONSTRUCTION**  
 6635 EDEN AVE.  
 WINTON, CA 95368  
 (209) 947-1287

Project Name and Address  
**BOBBI'S BEACON**  
 1401 ATWATER BLVD.  
 ATWATER, CA 95301

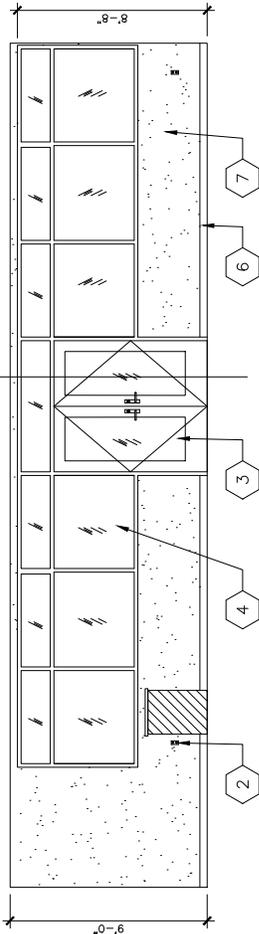
Project Name and Address  
**BOBBI'S BEACON**  
 03/26/2016  
 Sheet  
**A3**  
 Date  
 PER PLAN



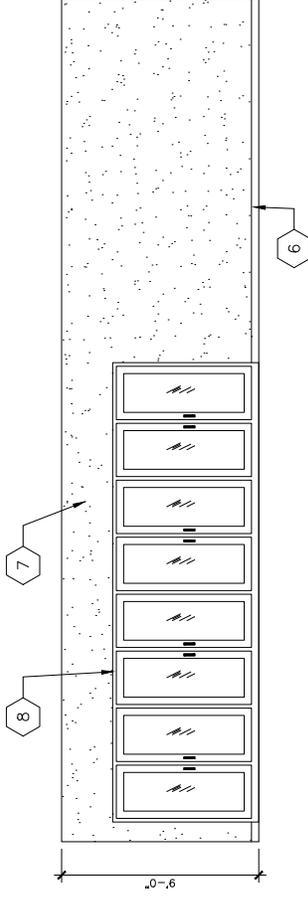
SCALE: 1/4" = 1' INTERIOR ELEVATION



SCALE: 1/4" = 1' INTERIOR ELEVATION



SCALE: 1/4" = 1' INTERIOR ELEVATION

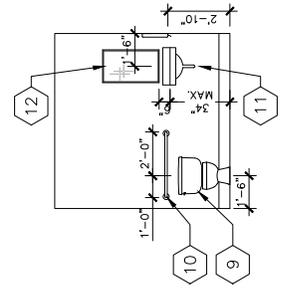


SCALE: 1/4" = 1' INTERIOR ELEVATION

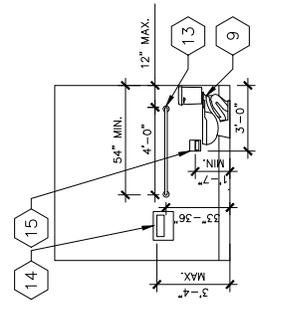
- 1 CASEWORK
- 2 RECEPTACLE - LOCATION MAY VARY
- 3 DOOR
- 4 WINDOW
- 5 LIGHT SWITCH
- 6 4" RUBBER BASE
- 7 SHEETROCK WALL FINISH
- 8 SELF-CONTAINED WALK-IN COOLER
- 9 ACCESSABLE WATER CLOSET
- 10 36" GRAB BAR
- 11 ACCESSABLE LAVATORY
- 12 MIRROR
- 13 42" GRAB BAR
- 14 TOILET SEAT COVER DISPENSER
- 15 TOILET PAPER DISPENSER

PANEL A		BRK		CKT		LEG		CKT		OBJ	
NO	DESCRIPTION	NO	DESCRIPTION	NO	DESCRIPTION	A	B	NO	DESCRIPTION	NO	DESCRIPTION
30	RECEPT.	1	X	2	20	LIGHTS					
20	RECEPT.	3	X	4	20	RECEPT.					
20	RECEPT.	5	X	6	20	RECEPT.					
20	RECEPT.	7	X	8	20	SPARE					
20	RECEPT.	9	X	10	20	LIGHTS					
20	RECEPT.	11	X	12	20	RECEPT.					
20	RECEPT.	13	X	14	20	RECEPT.					
20	RECEPT.	15	X	16	20	BLANK					
20	RECEPT.	17	X	18	20	RECEPT.					
42	LIGHTS	19	X	20	20	BLANK					
42	LIGHTS	21	X	22	20	BLANK					
15	LIGHTS	23	X	24	20	BLANK					
20	BLANK	25	X	26	20	BLANK					
20	GFCI/RECEPT	27	X	28	20	BLANK					
20	GFCI/RECEPT	29	X	30	20	BLANK					

PHASE:	VOLTS:	BUSS:	MAIN:	LOCATION:	FEED:	MOUNTING:
SINGLE	120/240	100 AMP	100 AMP	EXTERIOR	BOTTOM	SURFACE



SCALE: 1/4" = 1' RESTROOM INTERIOR ELEVATION



SCALE: 1/4" = 1' RESTROOM INTERIOR ELEVATION

# REFLECTIVE CEILING PLAN

SHEET INDEX

No.	Revision/Issue	Date
△	PLAN CHECK CORRECTIONS	5/10/16
△	PLAN CHECK CORRECTIONS	6/05/16
△	OWNER REVISIONS	7/09/16
△	OWNER REVISIONS	7/11/16

**Boytin & Boykin Construction**  
 6635 EDEN AVE.  
 WINTON, CA 95588  
 (209) 947-1287

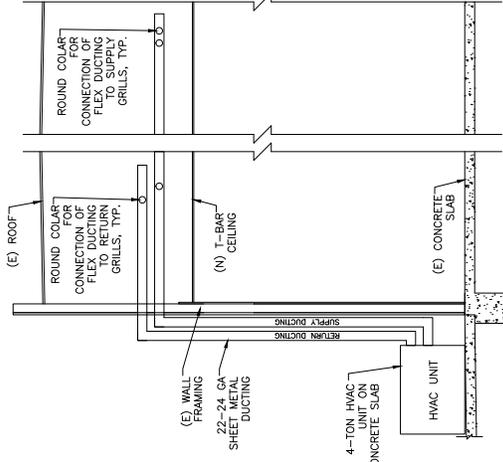
**BOBBI'S BEACON**  
 1401 ATWATER BLVD.  
 ATWATER, CA 95501

BOBBI'S BEACON  
 03/28/2016  
 PER PLAN  
 A4

- 1 MAIN RUNNER TYP.
- 2 CROSS RUNNER TYP.
- 3 INTERIOR LIGHT FIXTURE TYP.
- 4 CEILING HEIGHT @ 9'-0"
- 5 SPLAY WIRE
- 6 FIXED CEILING END
- 7 FREE CEILING END
- 8 GYP SHEETROCK CEILING
- 9 EXHAUST FAN
- 10 EXIT SIGN
- 11 HVAC UNIT ON CONCRETE SLAB
- 12 20"x20" RIGID SUPPLY DUCTWORK
- 13 20"x20" RIGID RETURN DUCTWORK
- 14 8" FLEX SUPPLY DUCTWORK
- 15 24"x24" SUPPLY AIR GRILL
- 16 24"x24" RETURN AIR GRILL

\*\* NOTE: RESTROOM EXHAUST FAN AND LIGHT TO BE CONTROLLED BY MOTION SENSOR.

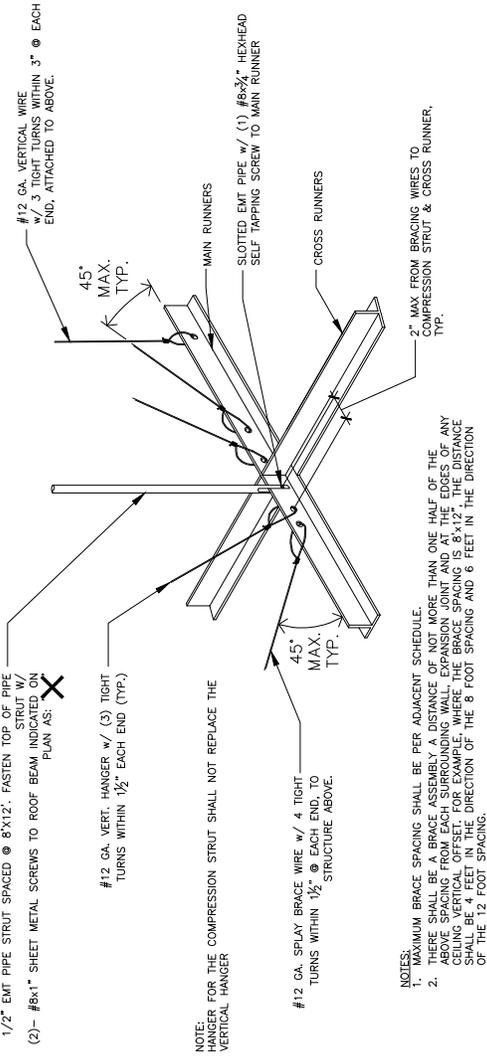
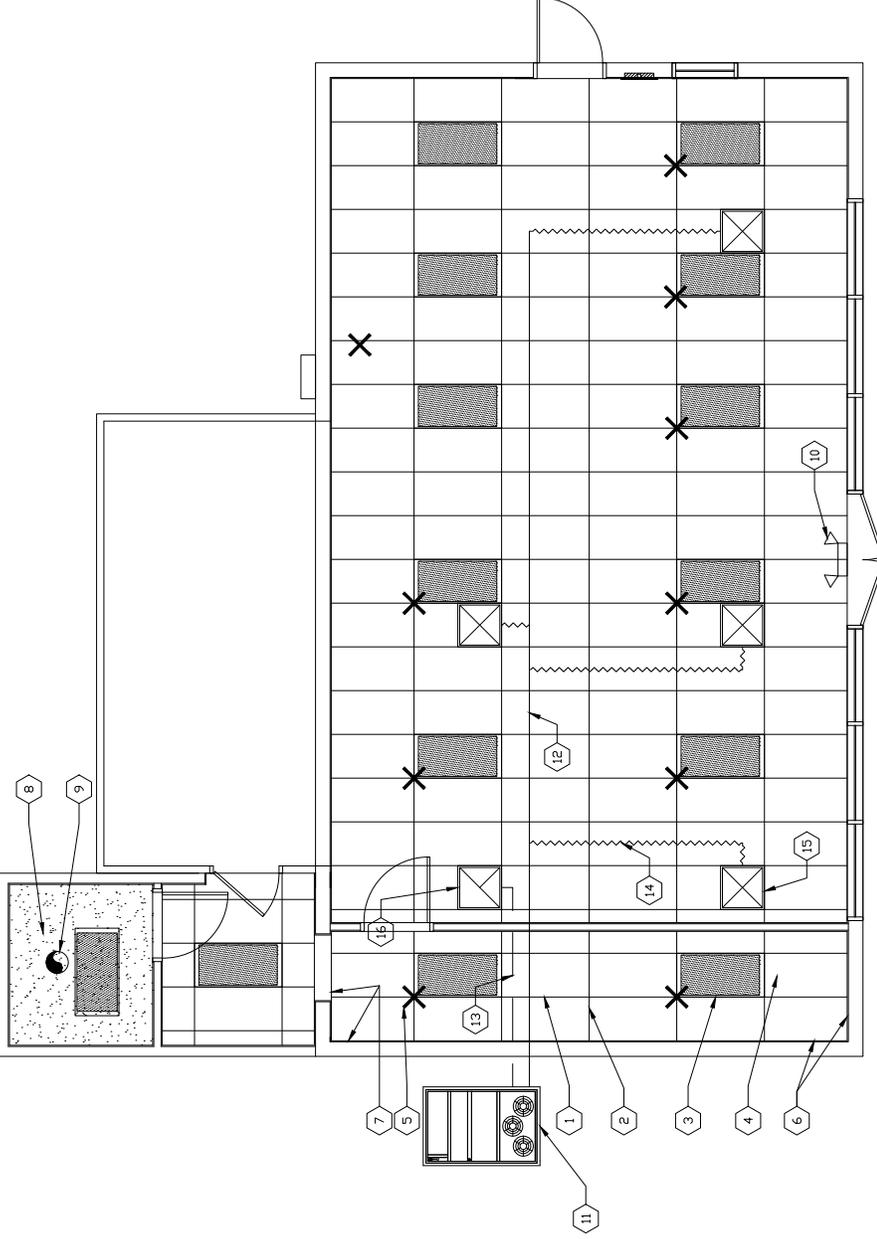
## GENERAL NOTES



SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



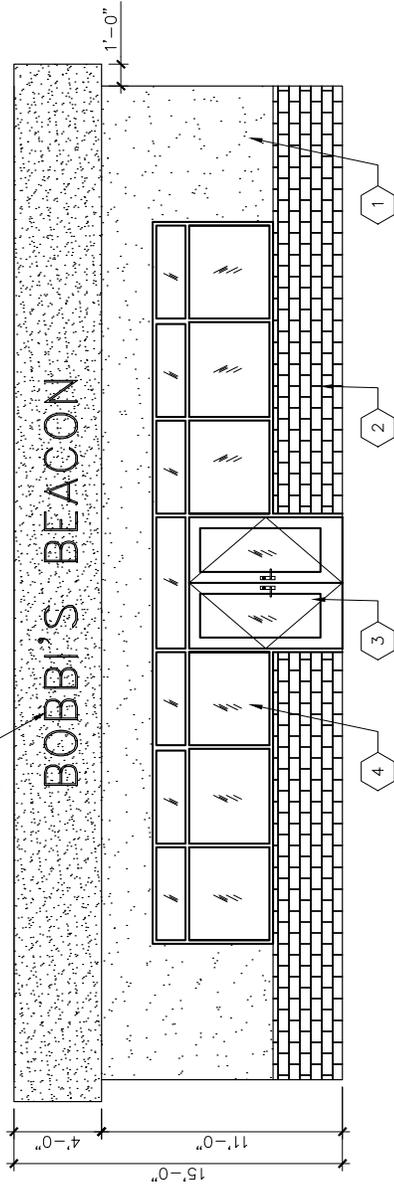
- NOTES:
1. MAXIMUM BRACE SPACING SHALL BE PER ADJACENT SCHEDULE.
  2. THERE SHALL BE A BRACE ASSEMBLY A DISTANCE OF NOT MORE THAN ONE HALF OF THE ABOVE SPACING FROM EACH SURROUNDING WALL EXPANSION JOINT AND AT THE EDGES OF ANY CEILING VERTICAL OFFSET. FOR EXAMPLE, WHERE THE BRACE SPACING IS 8'X12", THE DISTANCE SHALL BE 4 FEET IN THE DIRECTION OF THE 8 FOOT SPACING AND 6 FEET IN THE DIRECTION OF THE 12 FOOT SPACING.

T-BAR GRID ATTACHMENT DETAIL

SCALE: 1/4" = 1'-0"

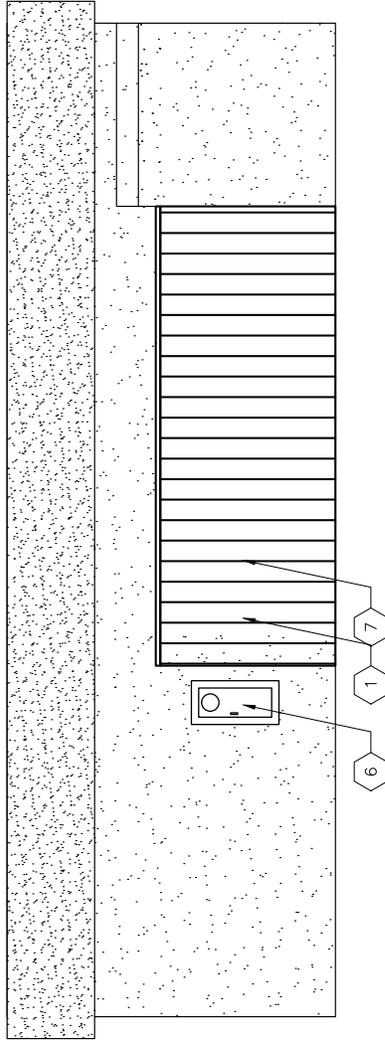
SCALE: 1/4" = 1'-0"





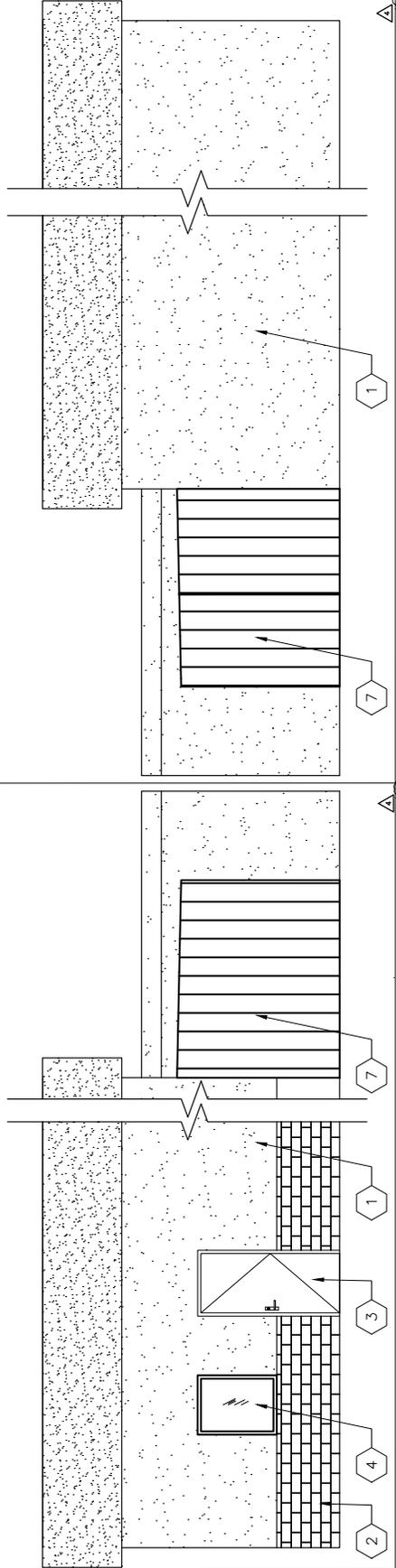
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION



SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION



SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION

- 1 (N) STUCCO FINISH
- 2 (E) BRICK VENEER TO REMAIN
- 3 TYP. DOOR
- 4 TYP. WINDOW
- 5 SIGNAGE - BY OTHERS - UNDER SEPARATE PERMIT
- 6 (N) 400-AMP MAIN ELECTRICAL SERVICE
- 7 (N) SELF CONTAINED WALK-IN COOLER

GENERAL NOTES

No.	Revision/Issue	Date
1	PLAN CHECK CORRECTIONS	5/10/16
2	PLAN CHECK CORRECTIONS	6/05/16
3	OWNER REVISIONS	7/04/16
4	OWNER REVISIONS	7/11/16

Project Name and Address  
 BOYKIN & BOYKIN  
 CONSTRUCTION  
 6635 EDEN AVE.  
 WINTON, CA 95388  
 (209) 947-1287

Project Name and Address  
 BOBBI'S BEACON  
 1401 ATWATER BLVD.  
 ATWATER, CA 95301

Sheet  
 A6  
 Date  
 02/26/2016  
 PER PLAN

SHEET INDEX

# EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SHEET INDEX

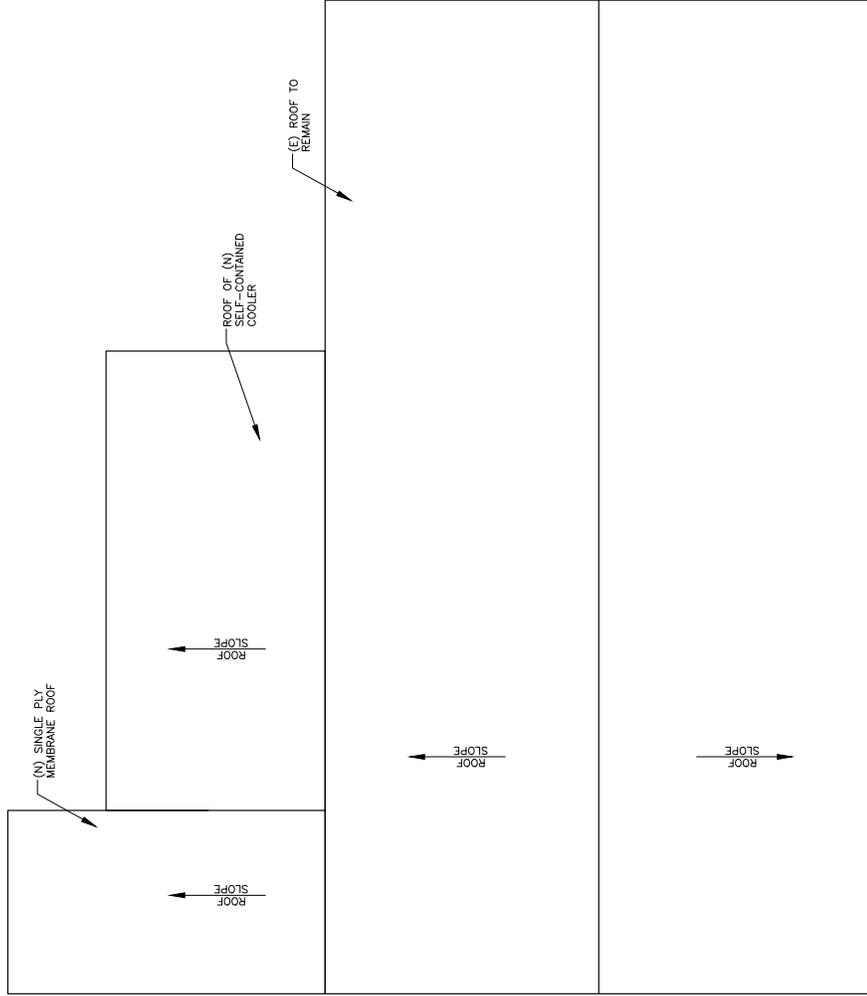
# ROOF PLAN

No.	Revision/Issue	Date
1	PLAN CHECK CORRECTIONS	6/10/16
2	PLAN CHECK CORRECTIONS	6/05/16
3	OWNER REVISIONS	7/04/16
4	OWNER REVISIONS	7/11/16

**Boykin & Boykin Construction**  
 6635 EDEN AVE.  
 WINTON, CA 95388  
 (209) 947-1287

**BOBBI'S BEACON**  
 1401 ATWATER BLVD.  
 ATWATER, CA 95301

Project: BOBBI'S BEACON  
 Date: 03/26/2016  
 Title: RFS PLAN  
 Sheet: **A7**



SCALE: 1/4" = 1'-0"

ROOF PLAN

# ARCHITECTURAL DETAILS

No.	Revision/Issue	Date
1	PLAN CHECK CORRECTIONS	5/10/16
2	OWNER REVISIONS	6/09/16
3	OWNER REVISIONS	7/04/16
4	OWNER REVISIONS	7/11/16

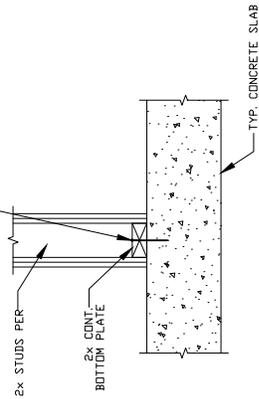
**Client Name and Address**  
 BOYKIN & BOYKIN  
 CONSTRUCTION  
 6635 EDEN AVE.  
 WINTON, CA 95388  
 (209) 947-1287

**Project Name and Address**  
 BOBBI'S BEACON  
 1401 ATWATER BLVD.  
 ATWATER, CA 95301

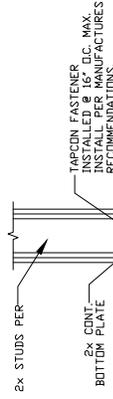
**Project**  
 BOBBI'S BEACON  
**Date**  
 03/28/2016  
**Per**  
 PER PLAN

**Sheet**  
 A8

HILTI X-C 72 PB SHOT PINS PER  
 ICC ESR-1663 OR HILTI X-CP 72  
 PB SHOT PINS PER ICC ESR-2379  
 @ 16" O.C.

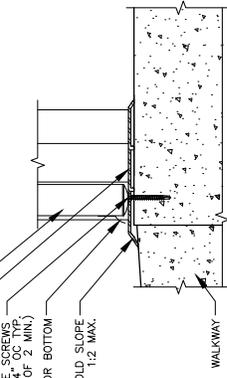


SCALE: NTS 3/8  
 NEW INTERIOR WALL ATTACHMENT

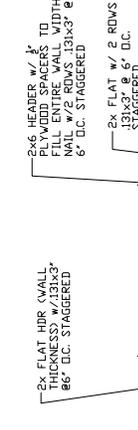


SCALE: NTS 3/8  
 NEW EXTERIOR INFILL WALL ATTACHMENT

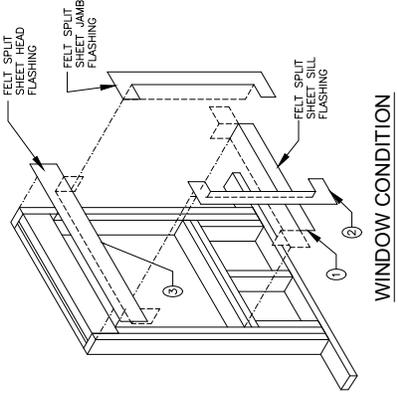
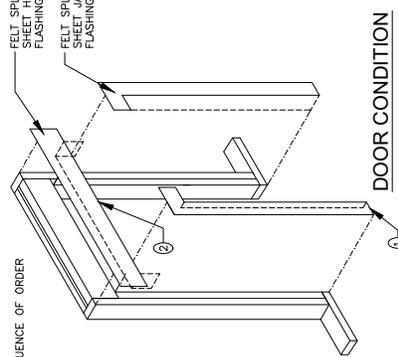
DOOR  
 ALUMINUM THRESHOLD  
 FLOOR SHEATHING  
 CONCRETE SCREWS  
 @ 24" O.C. TYP.  
 (TOTAL OF 2 MIN.)  
 DOOR BOTTOM  
 THRESHOLD SLOPE  
 1:2 MAX.  
 WALKWAY



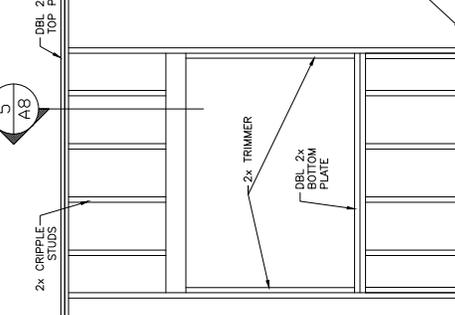
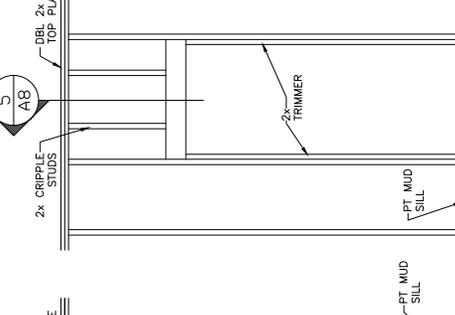
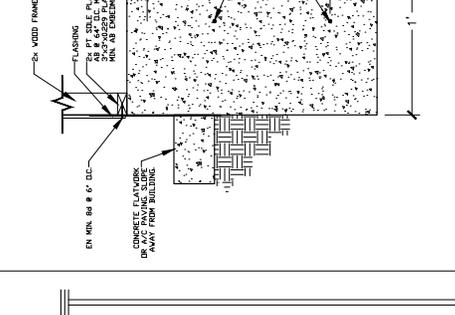
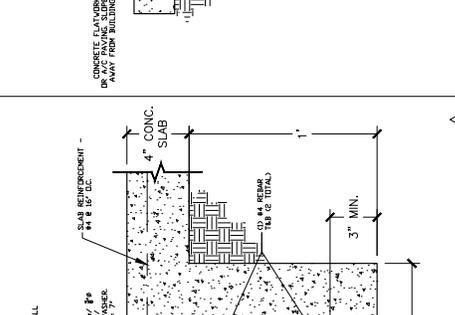
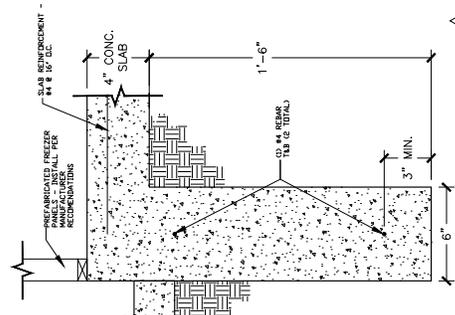
SCALE: NTS 3/8  
 EXTERIOR DOOR THRESHOLD DETAIL



SCALE: NTS 3/8  
 WINDOW & DOOR FLASHING DETAIL



SCALE: NTS 3/8  
 WINDOW & DOOR FLASHING DETAIL



SCALE: NTS 3/8  
 TYPICAL WINDOW & DOOR FRAMING

SCALE: NTS 3/8  
 FREEZER FOOTING DETAIL

SCALE: NTS 3/8  
 FOOTING DETAIL

SCALE: NTS 3/8  
 WINDOW & DOOR FRAMING

SCALE: NTS 3/8  
 WINDOW & DOOR FRAMING

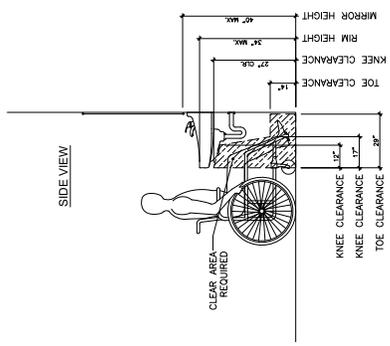
MECHANICAL DETAILS

No.	Revision/Issue	Date
1	PLAN CHECK CORRECTIONS	05/10/16

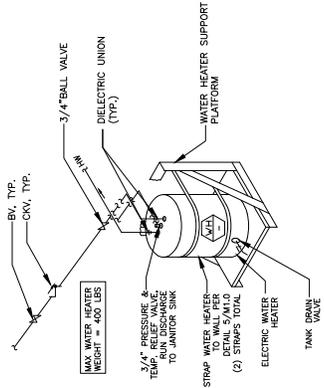
Boykin & Boykin  
CONSTRUCTION  
6635 EDEN AVE.  
WINTON, CA 95388  
(209) 947-1287

Project Name and Address  
BOBBY'S BEACON  
1401 ATWATER BLVD.  
ATWATER, CA 95301

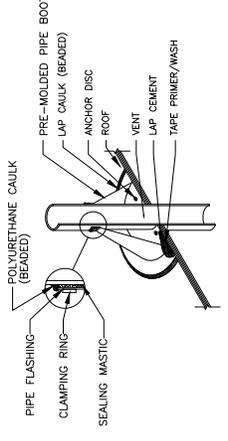
Project BOBBY'S BEACON  
Date 03/26/2016  
Sheet M1  
Scale PER PLAN



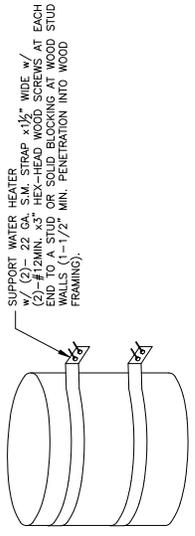
SCALE: NTS 1/4" = 1'-0" BATHROOM CLEARANCES



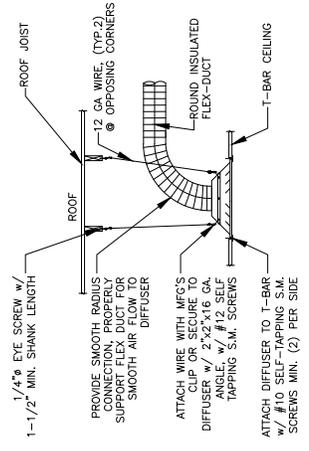
SCALE: NTS 1/4" = 1'-0" HOT WATER HEATER SUPPORT



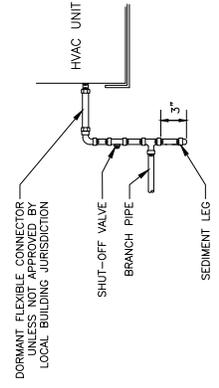
SCALE: NTS 1/4" = 1'-0" PLUMBING ROOF PENETRATION DETAIL



SCALE: NTS 1/4" = 1'-0" WATER HEATER MOUNTING DETAIL



SCALE: NTS 1/4" = 1'-0" GAS CONNECTION DETAIL



SCALE: NTS 1/4" = 1'-0" CONDENSATE LINE DETAIL

NOTE: PRESSURE RELIEF VALVE SHALL BE PLUMBED TO OUTSIDE/EXTERIOR OF BUILDING.

SCALE: NTS 1/4" = 1'-0" WATER HEATER MOUNTING DETAIL

SCALE: NTS 1/4" = 1'-0" CONDENSATE LINE DETAIL

SCALE: NTS 1/4" = 1'-0" GAS CONNECTION DETAIL

SCALE: NTS 1/4" = 1'-0" CONDENSATE LINE DETAIL



**California Department of Alcoholic Beverage  
Control  
For the County of MERCED - (Retail Licenses)  
and Census Tract = 7.01**

Report as of 8/9/2016

License Number	Status	License Type	Orig. Iss. Date	Expir Date	Primary Owner and Premises Addr.	Business Name	Mailing Address	Geo Code
1) <a href="#">125440</a>	ACTIVE	20	7/23/1982	10/31/2016	H R P INC 231 ATWATER BLVD ATWATER, CA 95301  Census Tract: 0007.01	R N MARKET		2401
2) <a href="#">210023</a>	ACTIVE	20	12/21/1988	6/30/2017	CIRCLE K STORES INC 1021 SHAFFER RD ATWATER, CA 95301  Census Tract: 0007.01	CIRCLE K 5018	255 E RINCON ST, STE 100 CORONA, CA 92879-1368	2401
3) <a href="#">350437</a>	SUREND	21	3/15/1999	5/31/2017	SINGH, BALBIR 1120 1ST ST ATWATER, CA 95301-4301  Census Tract: 0007.01	BOBBIS MARKET		2401
4) <a href="#">351669</a>	ACTIVE	52	5/19/1999	4/30/2017	VICTOR S MACHADO POST NO 9946 VETERANS OF FOREIGN 1390 BROADWAY AVE ATWATER, CA 95301  Census Tract: 0007.01	VFW POST 9946		2401
5) <a href="#">360354</a>	ACTIVE	21	12/20/1999	11/30/2016	DHAMI, BALWANT S 972 BROADWAY AVE ATWATER, CA 95301  Census Tract: 0007.01	SURE STOP MARKET		2401
6) <a href="#">452743</a>	ACTIVE	48	5/17/2007	7/31/2017	PENROD, LUCILLE MARIE 1513 BROADWAY AVE ATWATER, CA 95301-3548  Census Tract: 0007.01	LUCYS STUDIO LOUNGE		2401
7) <a href="#">513244</a>	ACTIVE	47	11/18/2011 3:00:08 PM	6/30/2017	BROGDEN, DINA AUGUSTINO 351 ATWATER BLVD ATWATER, CA 95301  Census Tract: 0007.01	TARY BOSCOLOS PIZZERIA & ITALIAN RESTAURANT		2401
8) <a href="#">55191</a>	ACTIVE	20	1/15/1979	1/31/2017	PAUL OIL COMPANY INC 1198 WINTON WAY ATWATER, CA 95301  Census Tract: 0007.01	ATWATER SHELL	PO BOX 248 OAKDALE, CA 95361-0248	2401
9) <a href="#">558458</a>	ACTIVE	21	7/23/2015 11:01:13 AM	6/30/2017	SINGH, NARINDERPAL 1491 BROADWAY AVE ATWATER, CA 95301  Census Tract: 0007.01	BERNIE'S LIQUOR		2401
10) <a href="#">568833</a>	ACTIVE	41	5/31/2016 1:19:48 PM	4/30/2017	GUZMAN, JORGE ORTEGA 161 ATWATER BLVD ATWATER, CA 95301-4601  Census Tract: 0007.01	GUZMAN'S BAR & GRILL	156 WATERFRONT CT ATWATER, CA 95301	2401

- - - End of Report - - -

DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL

NUMBER OF LICENSES AUTHORIZED

BY CENSUS TRACT

County Name	County Population	County Ratio On Sale	County Ratio Off Sale	Census Tract #	Census Tract Population	On Sale	Off Sale
MARIN	258,972	470	1,126	1290.00	2,359	5	2
MARIN	258,972	470	1,126	1302.01	3,191	6	2
MARIN	258,972	470	1,126	1302.02	4,453	9	3
MARIN	258,972	470	1,126	1311.00	1,038	2	0
MARIN	258,972	470	1,126	1321.00	2,311	4	2
MARIN	258,972	470	1,126	1322.00	1,774	3	1
MARIN	258,972	470	1,126	1330.00	3,226	6	2
MARIN	258,972	470	1,126	9901.00	0	0	0
MARIPOSA	17,791	481	659	1.01	3,929	8	5
MARIPOSA	17,791	481	659	1.02	2,719	5	4
MARIPOSA	17,791	481	659	2.00	3,352	6	5
MARIPOSA	17,791	481	659	3.01	3,743	7	5
MARIPOSA	17,791	481	659	3.02	2,706	5	4
MARIPOSA	17,791	481	659	4.00	1,802	3	2
MENDOCINO	88,863	357	539	101.00	2,587	7	4
MENDOCINO	88,863	357	539	102.00	4,155	11	7
MENDOCINO	88,863	357	539	103.00	4,272	11	7
MENDOCINO	88,863	357	539	104.00	3,467	9	6
MENDOCINO	88,863	357	539	105.00	4,439	12	8
MENDOCINO	88,863	357	539	106.00	6,917	19	12
MENDOCINO	88,863	357	539	107.00	6,203	17	11
MENDOCINO	88,863	357	539	108.01	5,915	16	10
MENDOCINO	88,863	357	539	108.02	1,785	5	3
MENDOCINO	88,863	357	539	109.00	4,332	12	8
MENDOCINO	88,863	357	539	110.01	1,952	5	3
MENDOCINO	88,863	357	539	110.02	5,364	15	9
MENDOCINO	88,863	357	539	111.02	3,915	10	7
MENDOCINO	88,863	357	539	112.00	3,293	9	6
MENDOCINO	88,863	357	539	113.00	5,972	16	11
MENDOCINO	88,863	357	539	114.00	4,469	12	8
MENDOCINO	88,863	357	539	115.00	6,739	18	12
MENDOCINO	88,863	357	539	116.00	5,802	16	10
MENDOCINO	88,863	357	539	117.00	4,181	11	7
MENDOCINO	88,863	357	539	118.00	2,082	5	3
MENDOCINO	88,863	357	539	9901.00	0	0	0
MERCED	266,134	1267	1,114	2.01	3,626	2	3
MERCED	266,134	1267	1,114	2.02	1,841	1	1
MERCED	266,134	1267	1,114	2.03	9,272	7	8
MERCED	266,134	1267	1,114	3.01	4,790	3	4
MERCED	266,134	1267	1,114	3.03	2,158	1	1
MERCED	266,134	1267	1,114	3.04	9,116	7	8
MERCED	266,134	1267	1,114	4.01	1,834	1	1
MERCED	266,134	1267	1,114	4.02	8,071	6	7
MERCED	266,134	1267	1,114	5.03	3,292	2	2
MERCED	266,134	1267	1,114	5.04	6,129	4	5
MERCED	266,134	1267	1,114	5.05	6,156	4	5
MERCED	266,134	1267	1,114	6.01	5,438	4	4
MERCED	266,134	1267	1,114	6.02	3,550	2	3
MERCED	266,134	1267	1,114	6.03	6,143	4	5
MERCED	266,134	1267	1,114	7.01	3,191	2	2
MERCED	266,134	1267	1,114	7.02	4,903	3	4
MERCED	266,134	1267	1,114	8.01	4,444	3	3